

**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



DATE: 12-20-13
PROJECT #:
SCALE: 1" = 50'

NORTH
SHEET #:

**EXISTING
PLAN**



**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**
 COUNTY OF ORANGE
 DANA POINT HARBOR DRIVE
 DANA POINT, CALIFORNIA



| | | | | | |
|---|----------|---|--|--|--|
| DATE: | 4-22-13 | | | | |
| PROJECT: | | | | | |
| SCALE: | 1" = 50' | | | | |
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| 0 | | | | | |

NORTH
SHEET #:

**PROPOSED
PLAN**

DANA POINT HARBOR REVITALIZATION

COMMERCIAL CORE PROJECT



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Dana Point, California



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- 1 GROUND LEVEL FIRE MASTERPLAN
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DANA POINT HARBOR REVITALIZATION
 COMMERCIAL CORE PROJECT
 COUNTY OF ORANGE
 DANA POINT HARBOR DRIVE
 DANA POINT, CALIFORNIA



REVISED: 3-27-14

DATE: 12-20-13

PROJECT #: 2011-40140

SCALE:

0

NORTH
SHEET #: A-01

COVER SHEET

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DANA POINT HARBOR REVITALIZATION COMMERCIAL CORE PROJECT

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1" = 60'-0"

NORTH
SHEET #: A-02

PROPOSED DEVELOPMENT PLAN

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LAUNCH RAMP PARKING STALL SIZES AND NUMBERS

| | |
|-----------------------------------|-----|
| 10x30 | 14 |
| 10x35 | 8 |
| 10x40 | 56 |
| 10x45 | 193 |
| 10x50 | 44 |
| 12x40 | 1 |
| 12x45 | 2 |
| 12x50 | 18 |
| Total Vehicle With Trailer Spaces | 336 |

LEGEND

- PLANNING AREA BOUNDARY
- PEDESTRIAN PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL
- BUILDING SETBACK LINE

PARKING SPACES

| | |
|---|--|
| DRY BOAT STORAGE PARKING PUERTO PLACE (NORTH) | 100 (6 HANDICAP SPACES) |
| DRY BOAT STORAGE PARKING PUERTO PLACE (SOUTH) | 161 (EXISTING PARKING LOT) |
| PARKING DECK 1 (PD1) LEVEL 1 | 40 |
| PARKING DECK 1 (PD1) LEVEL 2 | 46 (16 HANDICAP SPACES) |
| PARKING DECK 2 (PD2) LEVEL 1 | 343 PROVIDED FOR PARKING DECK AND PODIUM PARKING |
| PARKING DECK 2 (PD2) LEVEL 2 | 347 |
| WHARF PARKING AREA | 95 (4 HANDICAP SPACES) |
| NEW MARINERS SURFACE PARKING | 526 (11 HANDICAP SPACES) |
| TOTAL PARKING | 1,689 |
| 28 BICYCLE SPACES PROVIDED | |

DRY BOAT STORAGE SPACES SUMMARY

| | |
|--------------------------|-----|
| DRY STACK BUILDING | 390 |
| 10x25 | 7 |
| 10x30 | 86 |
| 10x35 | 12 |
| Total Dry Storage Spaces | 495 |

Planning Area Calculations

| Building Number | Existing or New | Use | Height (Note 1) | Indoor Rentable Area | Outdoor Area |
|-----------------|-----------------|-----|-----------------|----------------------|--------------|
|-----------------|-----------------|-----|-----------------|----------------------|--------------|

PLANNING AREA 2

| | | | | | |
|-------------|----------|----------------------|--------|--------|--|
| Building 1 | Existing | Restaurant | 9,375 | 2,132 | |
| Building 2 | Existing | Restaurant | 3,483 | 1,112 | |
| Building 3 | Existing | Retail | 2,462 | | |
| Building 4 | Existing | Retail | 3,643 | | |
| Building 5A | Existing | Restaurant | 5,337 | 850 | |
| Building 5B | Existing | Restaurant | 4,334 | 654 | |
| Building 6 | New | Retail (Level One) | 56'-0" | 3,332 | |
| | | Office (Level Two) | | 3,493 | |
| | | Office (Level Three) | | 3,216 | |
| | | Total | | 10,041 | |

| | | | | | |
|--------------|-----|------------|--------|--------|-------|
| Building 7 | New | Restaurant | 52'-5" | 7,530 | 1,205 |
| Building 8 | New | Restaurant | 54'-7" | 12,829 | 2,031 |
| Building 9 | New | Restaurant | 58'-4" | 11,051 | 1,507 |
| Building 10 | New | Restaurant | 35'-0" | 10,000 | 1,000 |
| Building 11 | New | Restaurant | 31'-6" | 4,004 | 1,000 |
| Building PD1 | New | Building 7 | | 3,168 | 460 |
| | | Retail | | 6,674 | |
| | | Building 8 | | 3,563 | 1,491 |
| | | Retail | | 6,305 | |
| | | Building 9 | | 2,504 | 400 |
| | | Retail | | 7,533 | |
| | | Total | | 29,747 | |

PLANNING AREA 1

| | | | | | |
|-------------|-----|--------------|--------|--------|--|
| Building M1 | New | Boat Storage | 65'-0" | 50,000 | |
| | | Retail | | 2,000 | |
| | | Office | | 5,600 | |

Building Code Area and Height Calculations

| Building Number | Existing or New | Occupancy | Construction Type | Building Area | Allowable Area | Height (Note 1) | Allowable Height (Note 2) | Stories | Allowable Stories |
|-----------------|-----------------|-----------|-------------------|---------------|----------------|-----------------|---------------------------|---------|-------------------|
|-----------------|-----------------|-----------|-------------------|---------------|----------------|-----------------|---------------------------|---------|-------------------|

PLANNING AREA 2

| | | | | | | | | | |
|-------------|----------|-----------------|--|-------|--|-------------|--|------------------|--|
| Building 1 | Existing | A2 - Restaurant | | 9,375 | | 35 Feet Max | | 1 Story On Grade | |
| Building 2 | Existing | A2 - Restaurant | | 3,483 | | 35 Feet Max | | 1 Story On Grade | |
| Building 3 | Existing | M - Mercantile | | 2,462 | | 35 Feet Max | | 1 Story On Grade | |
| Building 4 | Existing | M - Mercantile | | 3,643 | | 35 Feet Max | | 1 Story On Grade | |
| Building 5A | Existing | A2 - Restaurant | | 5,337 | | 35 Feet Max | | 1 Story On Grade | |
| Building 5B | Existing | A2 - Restaurant | | 4,334 | | 35 Feet Max | | 1 Story On Grade | |

| | | | | | | | | | |
|------------|-----|--------------------------------|------------|--------|--------|--------|-------------|--------------------|------------------------|
| Building 6 | New | M - Mercantile | Type III B | 4,700 | | 56'-0" | 60 Feet Max | 3 Stories On Grade | M - 3 Stories (Note 3) |
| | | B - Office (Level Two & Three) | | 6,700 | | | | | B - 4 Stories (Note 3) |
| | | Total | | 11,415 | 31,654 | | | | |

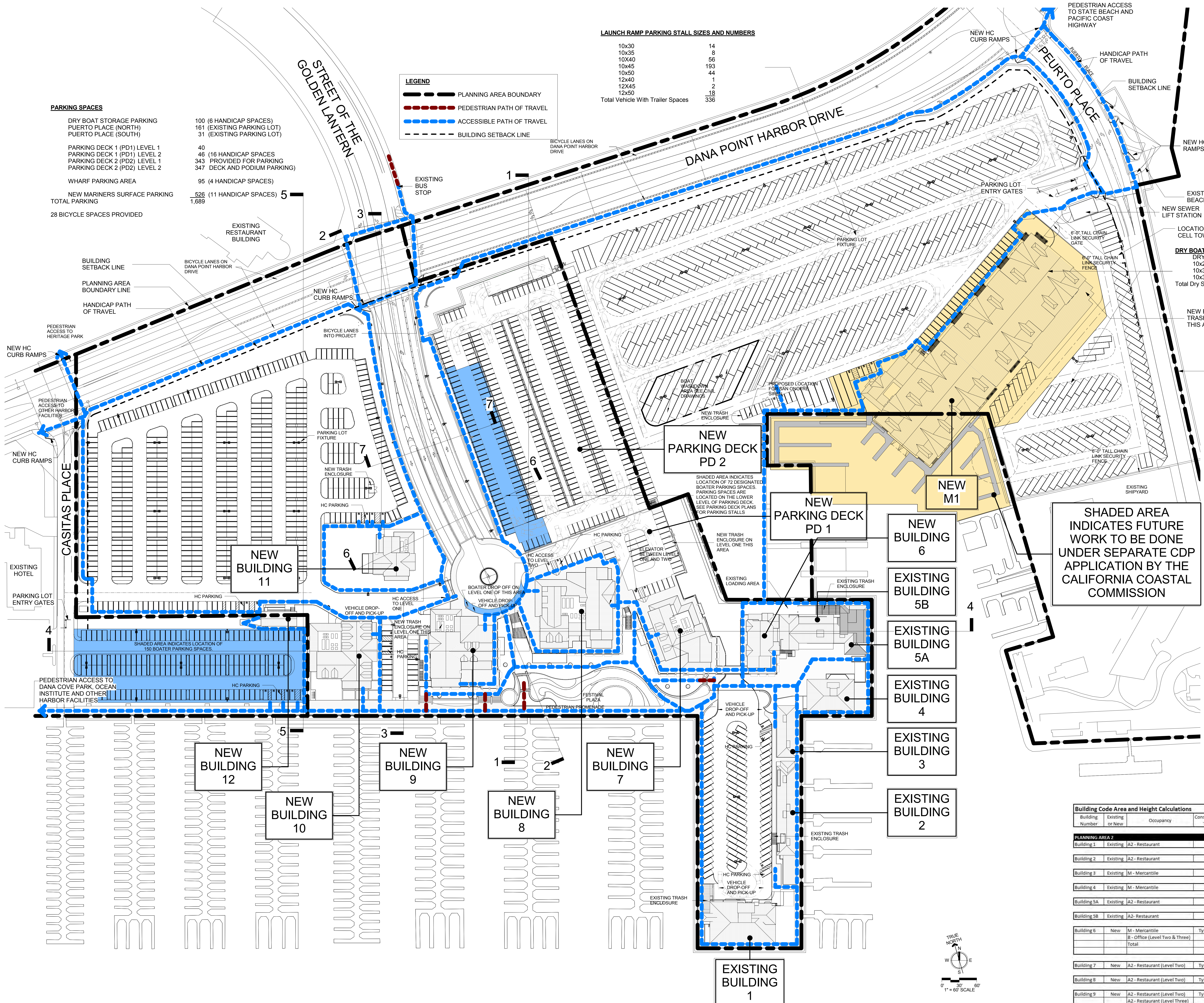
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|------------|-----|-------------------------------|------------|--------|--------|--------|-------------|-----------------------------|-------------------------|
| Building 7 | New | A2 - Restaurant (Level Two) | Type III B | 7,530 | 26,125 | 52'-5" | 60 Feet Max | 1 Story over 1 Story Type 1 | A2 - 3 Stories (Note 3) |
| Building 8 | New | A2 - Restaurant (Level Two) | Type III B | 12,829 | 26,125 | 54'-7" | 60 Feet Max | 1 Story over 1 Story Type 1 | A2 - 3 Stories (Note 3) |
| Building 9 | New | A2 - Restaurant (Level Three) | Type III B | 8,805 | | 58'-4" | 60 Feet Max | 2 Story over 1 Story Type 1 | A2 - 3 Stories (Note 3) |
| | | A2 - Restaurant (Level Two) | | 2,246 | | | | | |
| | | Total | | 11,051 | 26,125 | | | | |

| | | | | | | | | | |
|--------------|-----|-----------------------------|----------|--------|-----------|--------|-------------|------------------|-------------------------|
| Building 10 | New | A2 - Restaurant | Type V B | 10,000 | 28,500 | 35'-0" | 35 Feet Max | 1 Story On Grade | A2 - 1 Stories |
| Building 11 | New | A2 - Restaurant | Type V B | 4,004 | 6,000 | 31'-6" | 35 Feet Max | 1 Story On Grade | A2 - 2 Stories (Note 3) |
| Building 12 | New | U - Restroom/Building | Type V B | 1,660 | 5,500 | 20'-0" | 35 Feet Max | 2 Story On Grade | U - 2 Stories (Note 3) |
| Building PD1 | New | M - Mercantile | Type I A | 29,564 | | 20'-0" | 35 Feet Max | 1 Story On Grade | Unlimited |
| | | A2 - Restaurant (Level Two) | | 9,335 | | | | | |
| | | S2 - Parking | | 30,732 | | | | | |
| | | Total | | 89,521 | Unlimited | | | | |

PLANNING AREA 1

| | | | | | | | | | |
|-------------|-----|----------------------------|-----------|--------|--------|--------|------------------|------------------|-------------------------|
| Building M1 | New | S1 - Boat Storage (Indoor) | Type II B | 50,000 | 51,796 | 65'-0" | 75 Feet (Note 2) | 1 Story On Grade | S1 - 3 Stories (Note 2) |
| | | M - Mercantile (Level One) | Type II B | 2,000 | | | | 2 Story On Grade | M - 3 Stories (Note 2) |
| | | S1 - Shop (Level One) | | 495 | | | | | M - 4 Stories (Note 2) |
| | | B - Office (Level One) | | 1,148 | | | | | |
| | | B - Office (Level Two) | | 3,643 | | | | | |
| | | Total | | 7,296 | 43,366 | | | | |

Note:
1) Building Heights Measured From Finish Grade Elevation at Level One
2) Allowable Height based on LCP Reg. (Less than allowed by CBC sec. 504.2)
3) Number of Stories Increased by 1 for Fire Sprinklers



NEW BUILDING 12

NEW BUILDING 10

NEW BUILDING 9

NEW BUILDING 8

NEW BUILDING 7

NEW BUILDING 6

NEW BUILDING 5B

EXISTING BUILDING 5A

EXISTING BUILDING 4

EXISTING BUILDING 3

EXISTING BUILDING 2

EXISTING BUILDING 1

Building 6 - Retail/Office

| | |
|------|------------------------------|
| W = | 30 |
| P = | 317 |
| F = | 248 |
| At = | 12500 A2 Occupancy |
| If = | [F/P - 0.25] W / 30 |
| If = | 0.53334 |
| Is = | 1 Height Increase Used |
| Ao = | [At + (At x If) + (At x Is)] |
| Ao = | 31,654 s.f. |

Building 7 - Restaurant

| | |
|------|------------------------------|
| W = | 30 |
| P = | 398 |
| F = | 398 |
| At = | 9500 A2 Occupancy |
| If = | [F/P - 0.25] W / 30 |
| If = | 0.75 |
| Is = | 1 Height Increase Used |
| Ao = | [At + (At x If) + (At x Is)] |
| Ao = | 26,125 s.f. |

Building 8 - Restaurant

| | |
|------|------------------------------|
| W = | 30 |
| P = | 502 |
| F = | 502 |
| At = | 9500 A2 Occupancy |
| If = | [F/P - 0.25] W / 30 |
| If = | 0.75 |
| Is = | 1 Height Increase Used |
| Ao = | [At + (At x If) + (At x Is)] |
| Ao = | 26,125 s.f. |

Building 9 - Restaurant

| | |
|------|------------------------------|
| W = | 30 |
| P = | 444 |
| F = | 444 |
| At = | 9500 A2 Occupancy |
| If = | [F/P - 0.25] W / 30 |
| If = | 0.75 |
| Is = | 1 Height Increase Used |
| Ao = | [At + (At x If) + (At x Is)] |
| Ao = | 26,125 s.f. |

Building 10 - Restaurant

| | |
|------|------------------------------|
| W = | 30 |
| P = | 424 |
| F = | 424 |
| At = | 6000 A2 Occupancy |
| If = | [F/P - 0.25] W / 30 |
| If = | 0.75 |
| Is = | 3 One Story |
| Ao = | [At + (At x If) + (At x Is)] |
| Ao = | 28,500 s.f. |

Building M1 - Boat Storage

| | |
|------|------------------------------|
| W = | 30 |
| P = | 1072 |
| F = | 422 |
| At = | 12500 S1 Occupancy |
| If = | [F/P - 0.25] W / 30 |
| If = | 0.143657 |
| Is = | 3 One Story |
| Ao = | [At + (At x If) + (At x Is)] |
| Ao = | 51,796 s.f. |

Building M1 - Boat Services

| | |
|------|------------------------------|
| W = | 30 |
| P = | 394 |
| F = | 188 |
| At = | 12500 M Occupancy |
| If = | [F/P - 0.25] W / 30 |
| If = | 0.389456 |
| Is = | 2 Two Story |
| Ao = | [At + (At x If) + (At x Is)] |
| Ao = | 42,368 s.f. |

DANA POINT HARBOR REVITALIZATION COMMERCIAL CORE PROJECT

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



DATE: 12-20-13

PROJECT #: 2011-40140

SCALE: 1" = 60'-0"

NORTH

SHEET #: A-03

INTERIM DEVELOPMENT PLAN

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LAUNCH RAMP PARKING STALL SIZES AND NUMBERS

| | |
|-----------------------------------|-----|
| 10x30 | 14 |
| 10x35 | 8 |
| 10x40 | 56 |
| 10x45 | 193 |
| 10x50 | 44 |
| 12x40 | 1 |
| 12x45 | 2 |
| 12x50 | 18 |
| Total Vehicle With Trailer Spaces | 336 |

LEGEND

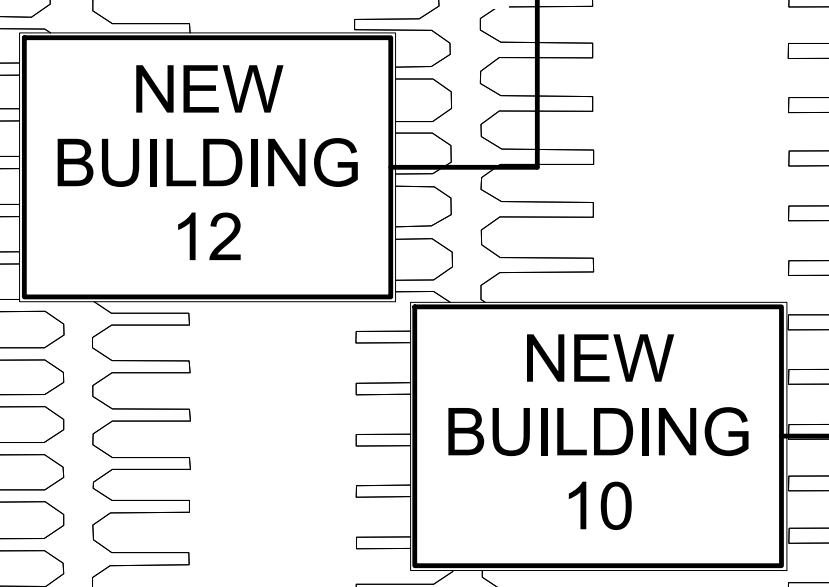
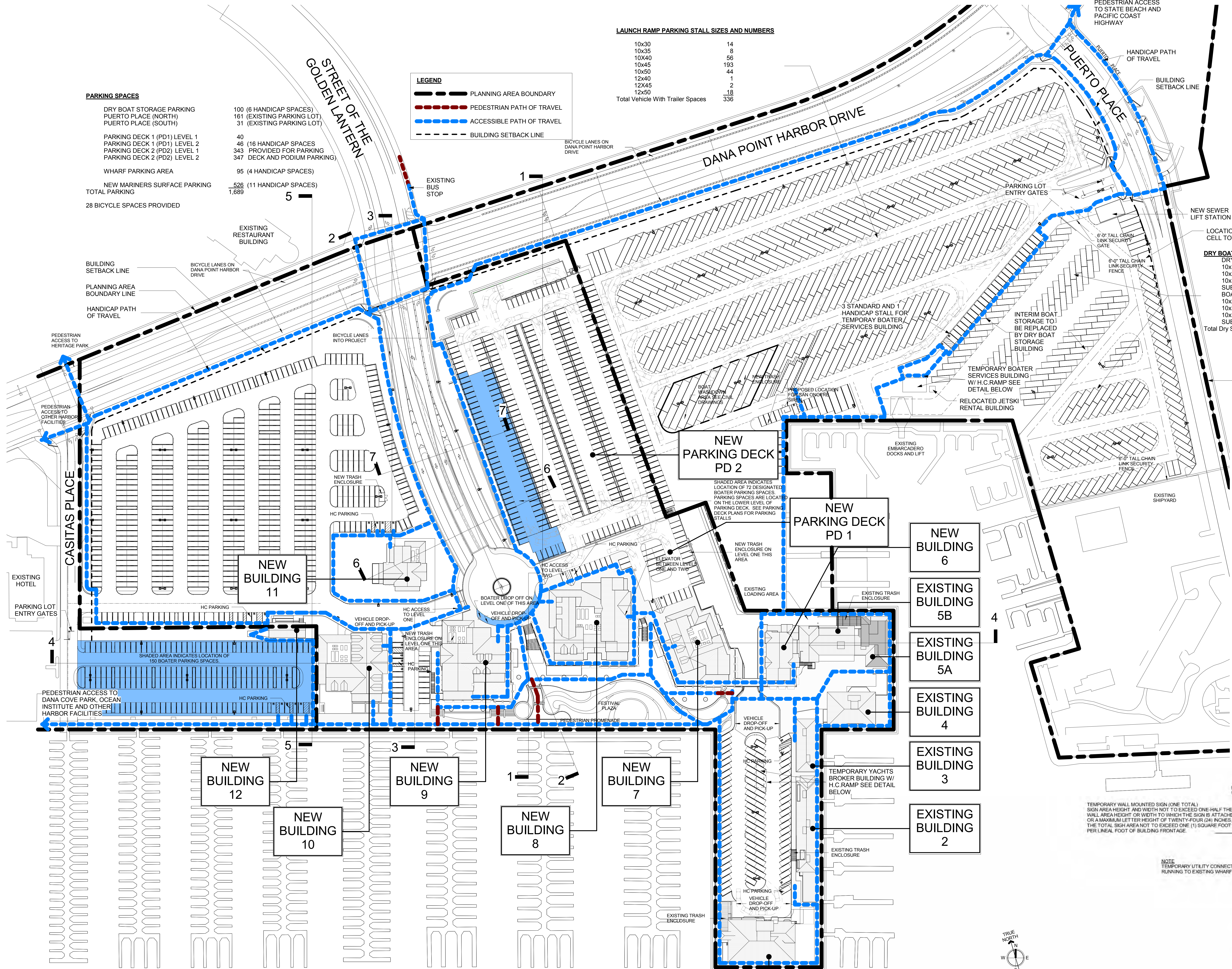
- PLANNING AREA BOUNDARY
- PEDESTRIAN PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL
- BUILDING SETBACK LINE

PARKING SPACES

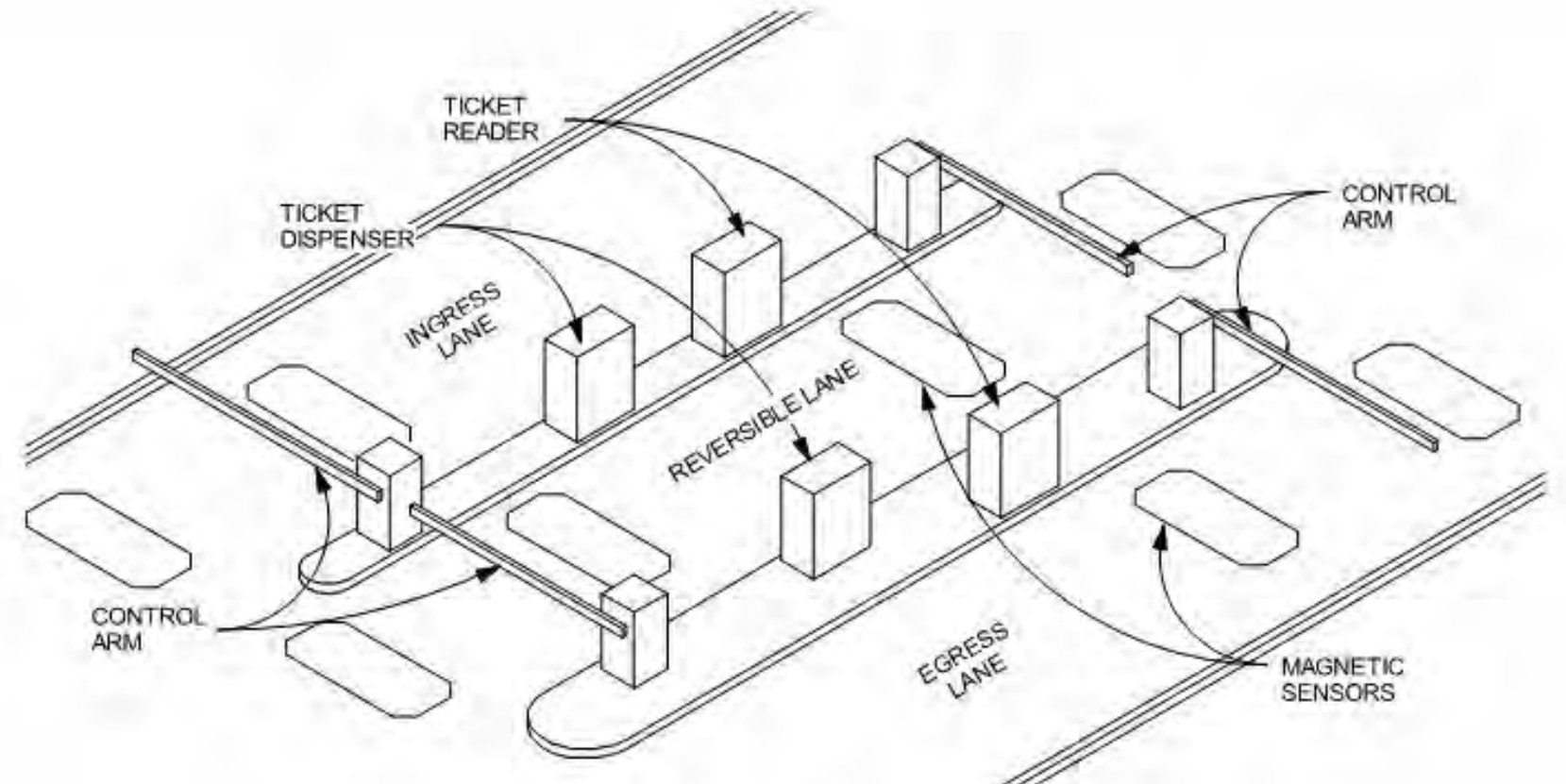
| | |
|------------------------------|------------------------------|
| DRY BOAT STORAGE PARKING | 100 (6 HANDICAP SPACES) |
| PUERTO PLACE (NORTH) | 161 (EXISTING PARKING LOT) |
| PUERTO PLACE (SOUTH) | 31 (EXISTING PARKING LOT) |
| PARKING DECK 1 (PD1) LEVEL 1 | 40 |
| PARKING DECK 1 (PD1) LEVEL 2 | 46 (16 HANDICAP SPACES) |
| PARKING DECK 2 (PD2) LEVEL 1 | 343 PROVIDED FOR PARKING |
| PARKING DECK 2 (PD2) LEVEL 2 | 347 DECK AND PODIUM PARKING) |
| WHARF PARKING AREA | 95 (4 HANDICAP SPACES) |
| NEW MARINERS SURFACE PARKING | 526 (11 HANDICAP SPACES) |
| TOTAL PARKING | 1,669 |
| 28 BICYCLE SPACES PROVIDED | |

DRY BOAT STORAGE SPACES

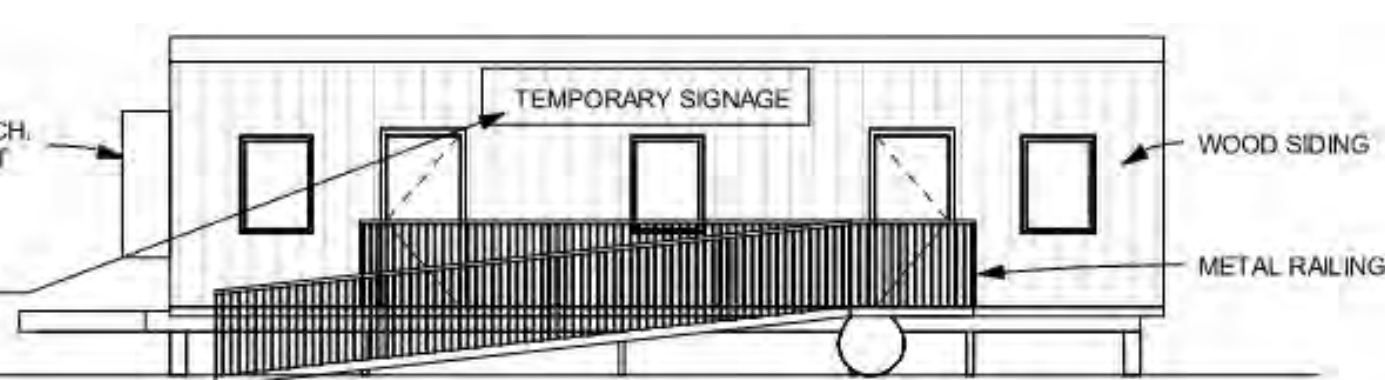
| | |
|--------------------------|-----|
| DRY STACK BUILDING PAD | 4 |
| 10x35 | 25 |
| 10x25 | 89 |
| 10x30 | 100 |
| SUBTOTAL | 218 |
| BOAT STORAGE | 7 |
| 10x25 | 17 |
| 10x30 | 12 |
| 10x35 | 12 |
| SUBTOTAL | 96 |
| Total Dry Storage Spaces | 196 |



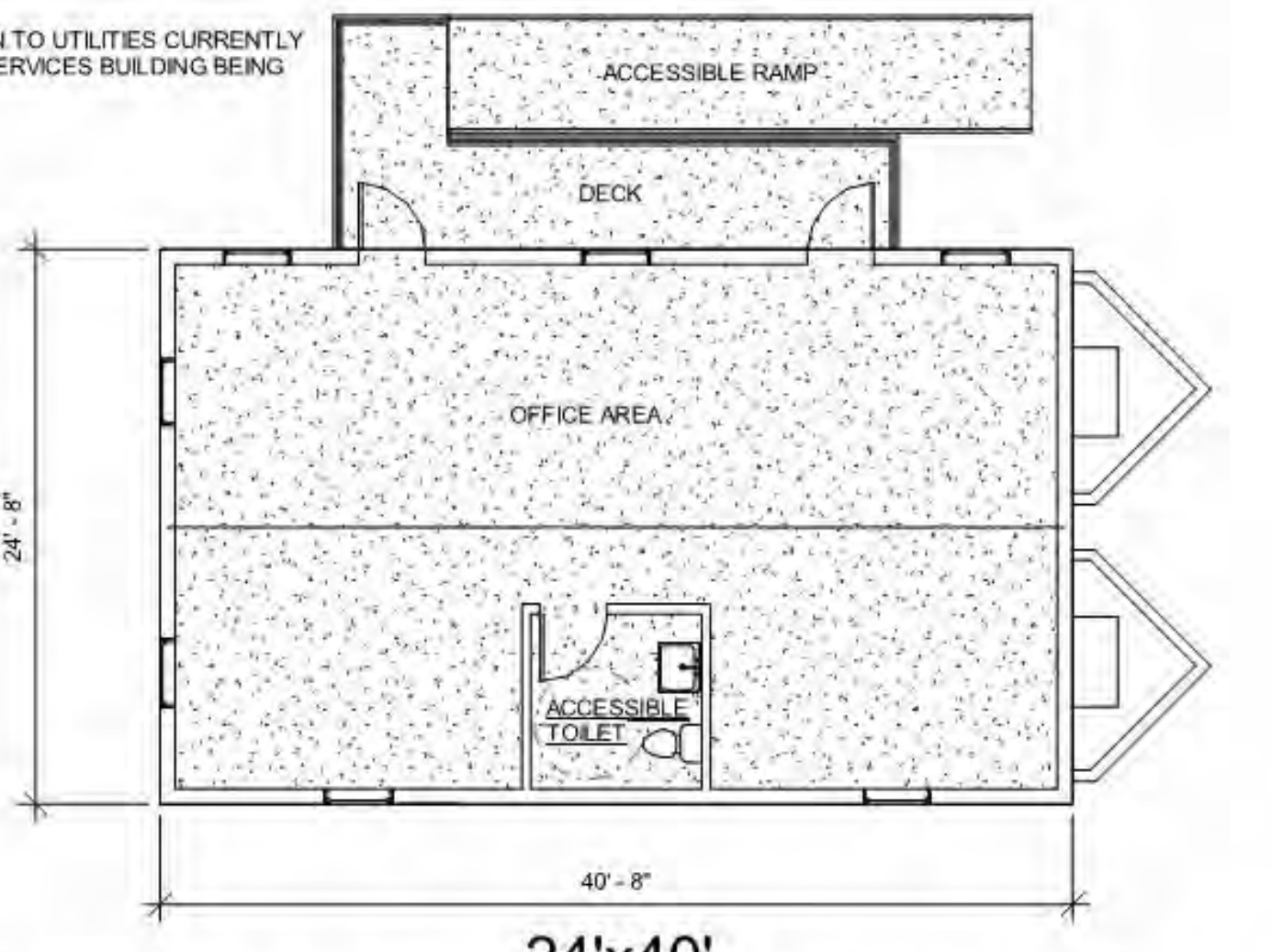
TRASH ENCLOSURE



PARKING CONTROL GATES



12'x40' MODULAR BUILDING - YACHT BROKER



24'x40' MODULAR BUILDING - BOATER SERVICES

TEMPORARY WALL MOUNTED SIGN (ONE TOTAL) SIGN AREA HEIGHT AND WIDTH NOT TO EXCEED ONE-HALF THE WALL AREA HEIGHT OR WIDTH TO WHICH THE SIGN IS ATTACHED OR A MAXIMUM LETTER HEIGHT OF TWENTY-FOUR (24) INCHES. THE TOTAL SIGN AREA NOT TO EXCEED ONE (1) SQUARE FOOT PER LINEAL FOOT OF BUILDING FRONTAGE.

NOTE: TEMPORARY UTILITY CONNECTION TO UTILITIES CURRENTLY RUNNING TO EXISTING WHARF BUILDING

NOTE: TEMPORARY UTILITY CONNECTION TO UTILITIES CURRENTLY RUNNING TO EXISTING BOATER SERVICES BUILDING BEING DEMOLISHED

NEW PARKING DECK PD 2

NEW PARKING DECK PD 1

NEW BUILDING 6

EXISTING BUILDING 5B

EXISTING BUILDING 5A

EXISTING BUILDING 4

EXISTING BUILDING 3

EXISTING BUILDING 2

NEW BUILDING 12

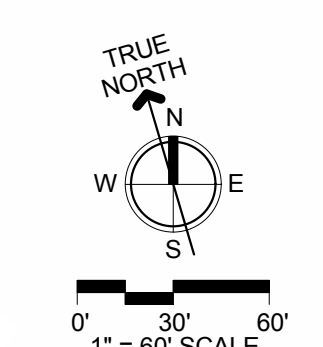
NEW BUILDING 10

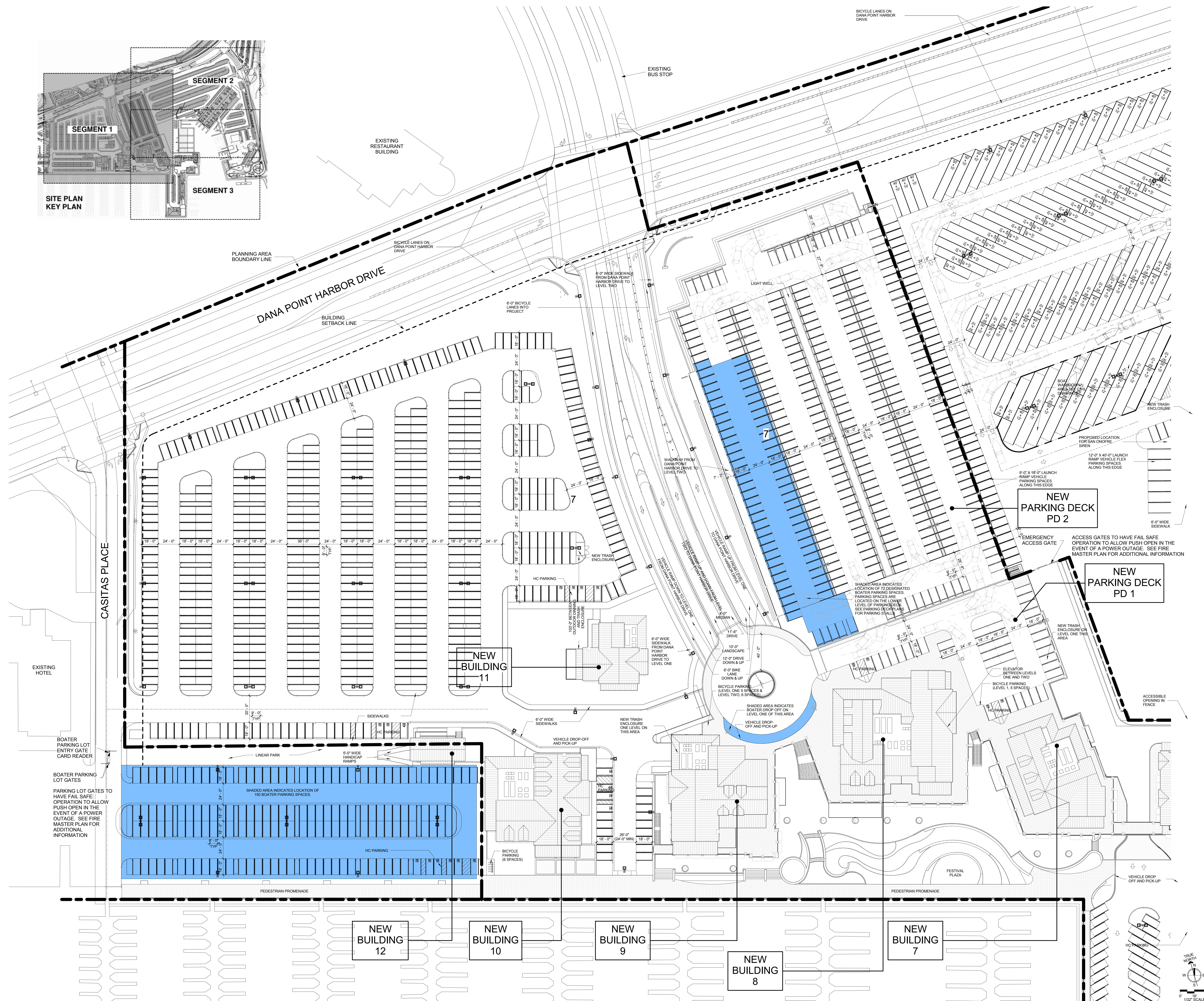
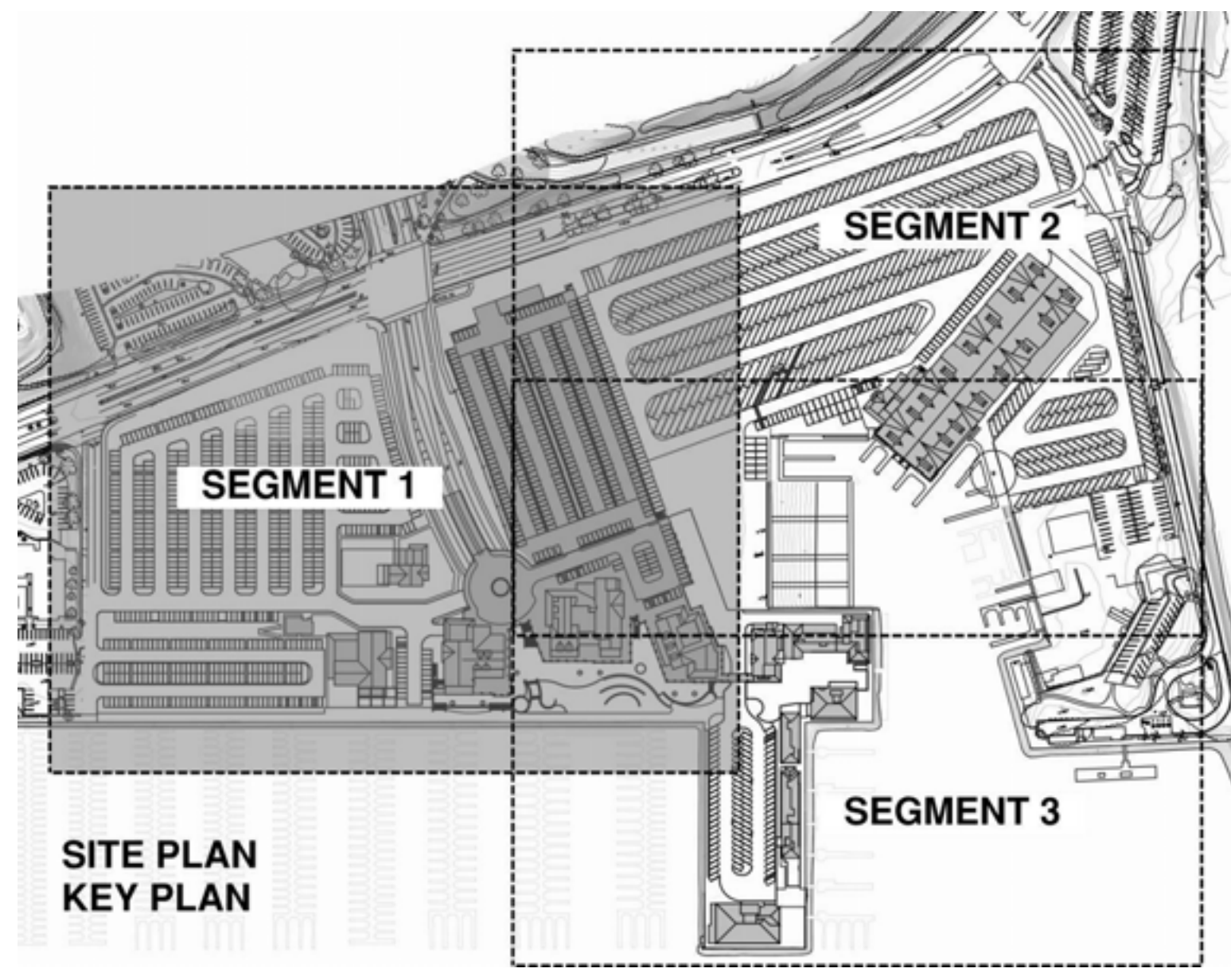
NEW BUILDING 9

NEW BUILDING 8

NEW BUILDING 7

EXISTING BUILDING 1





**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**
COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



PROJECT DIMENSIONS

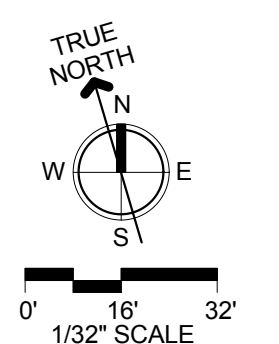
DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/32" = 1'-0"
NORTH
SHEET #: A-04

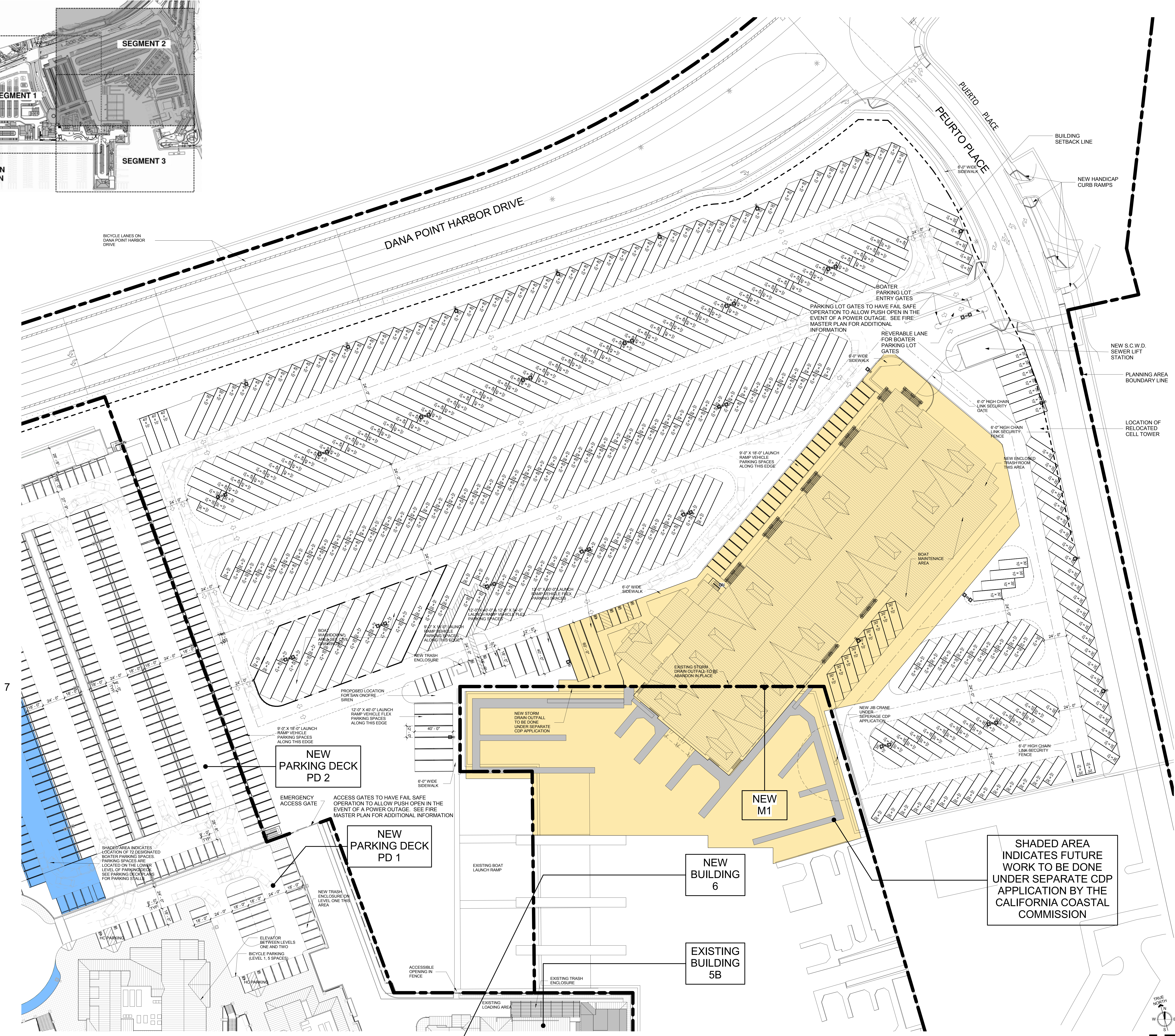
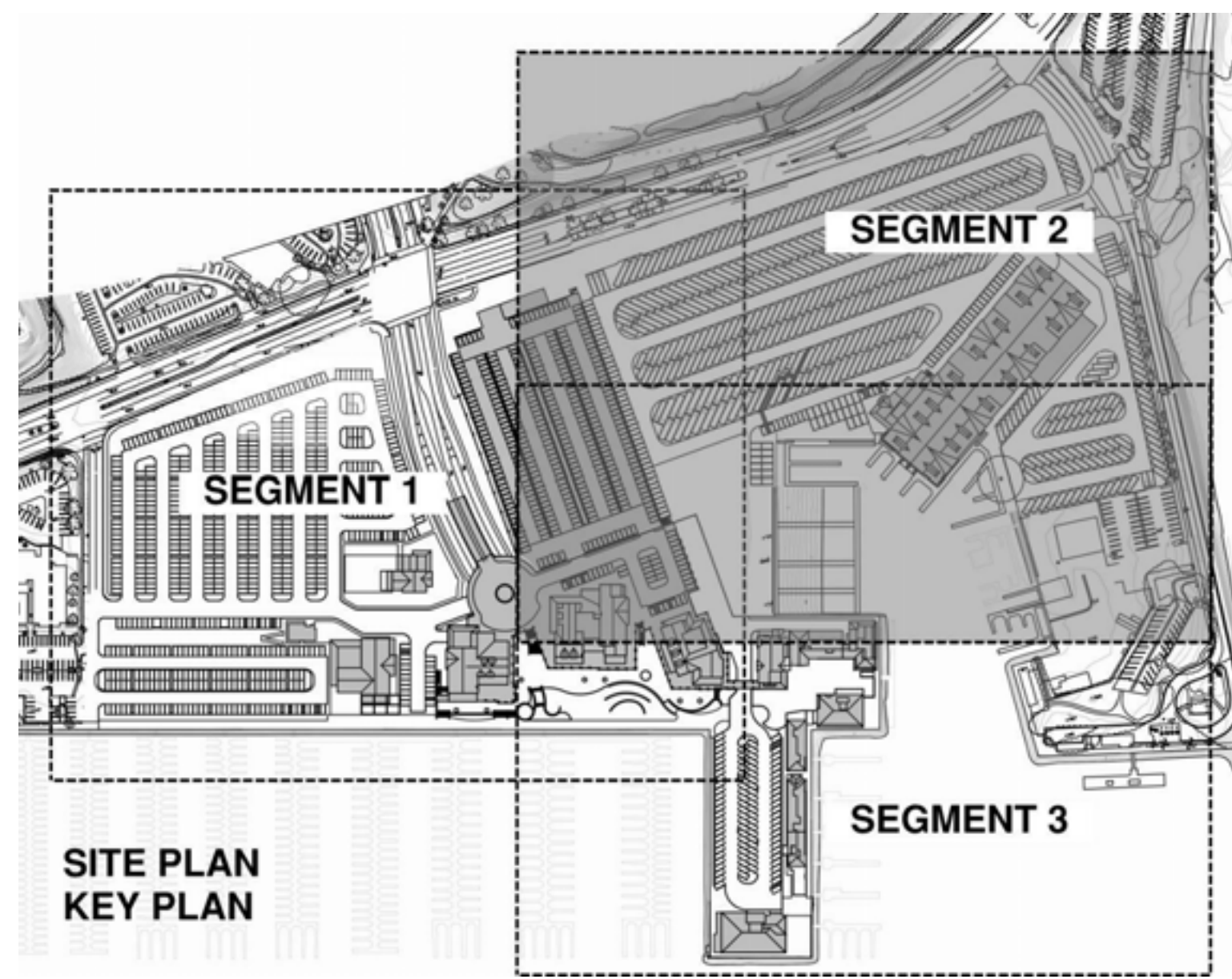
**SITE PLAN
SEGMENT 1**

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DANA POINT, CALIFORNIA



PROJECT DIMENSIONS™

REVISED: 3-27-14
DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/32" = 1'-0"

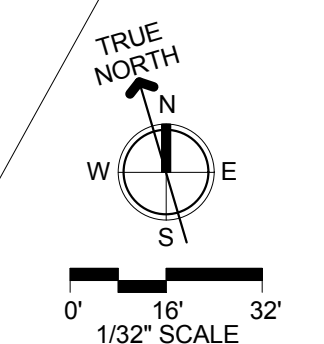
NORTH
SHEET #: A-05

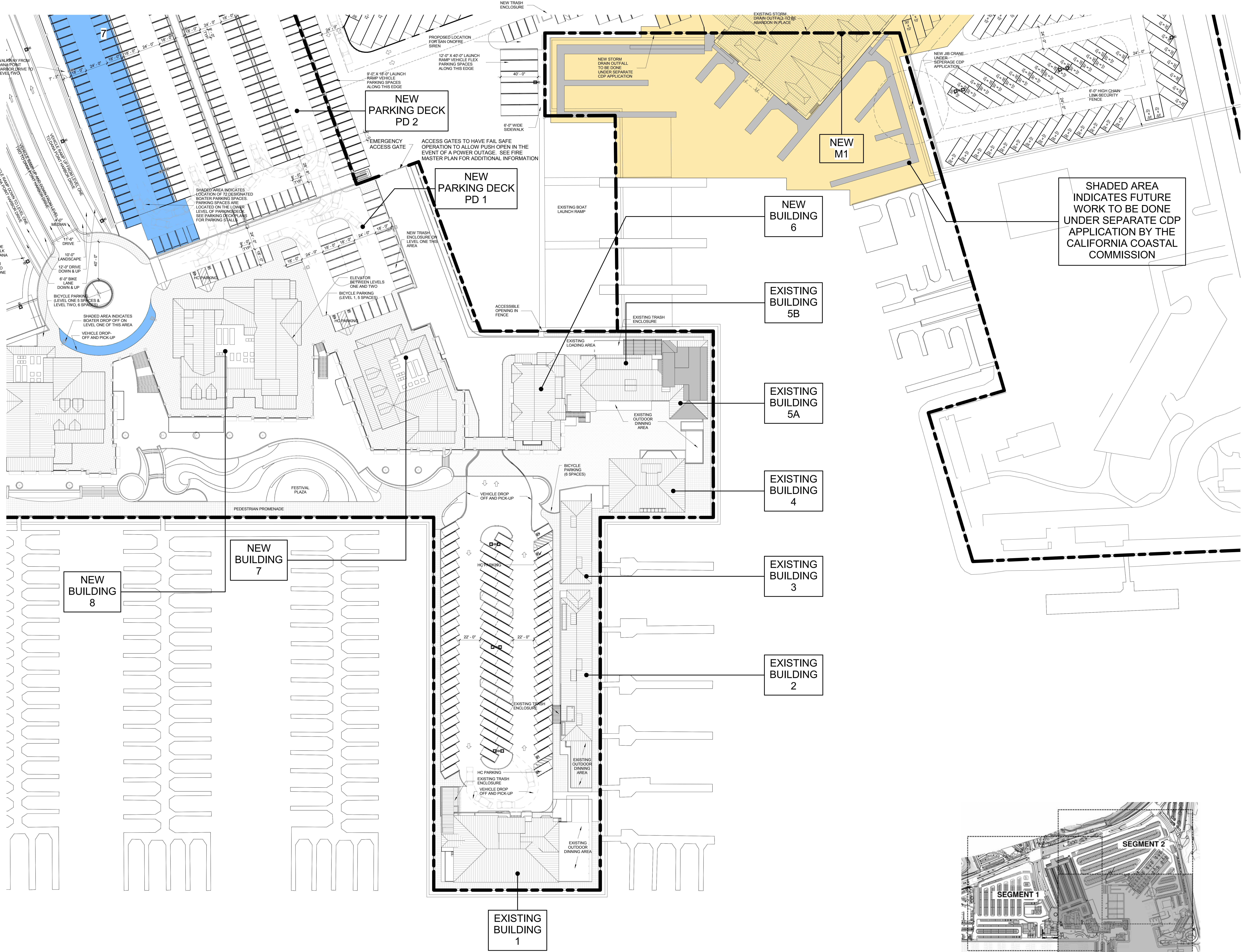
**SITE PLAN
SEGMENT 2**

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www.mvearchitecture.com





SHADED AREA INDICATES FUTURE WORK TO BE DONE UNDER SEPARATE CDP APPLICATION BY THE CALIFORNIA COASTAL COMMISSION

**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/32" = 1'-0"



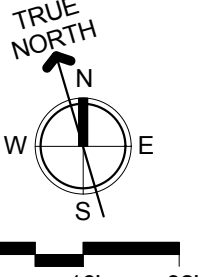
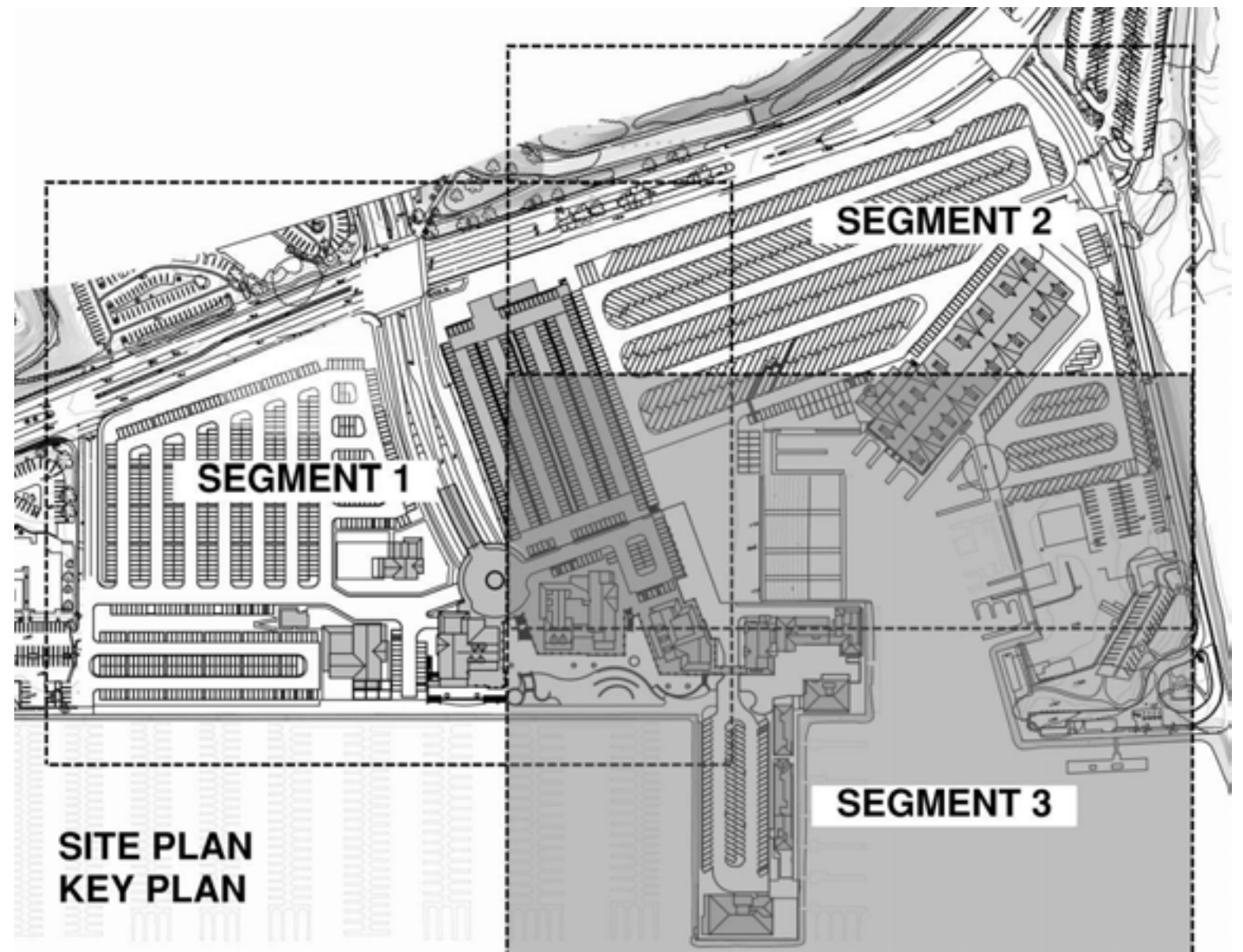
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SHEET #: A-06

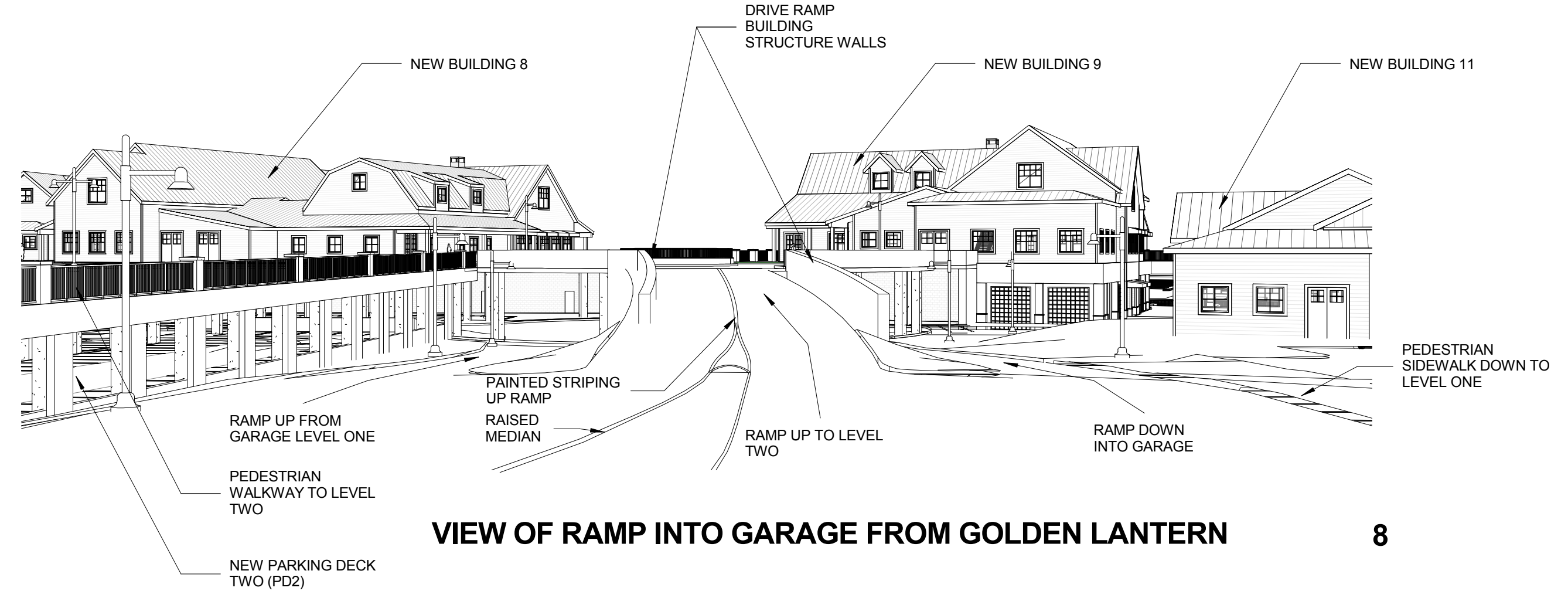
**SITE PLAN
SEGMENT 3**

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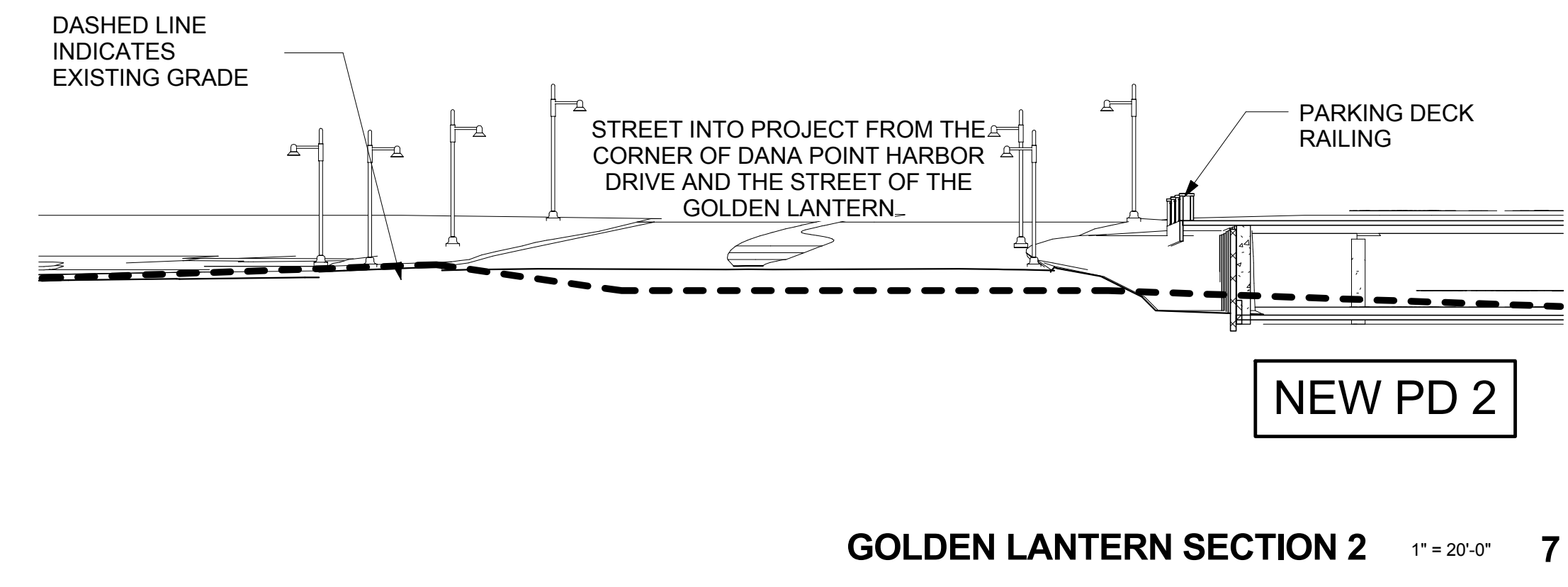
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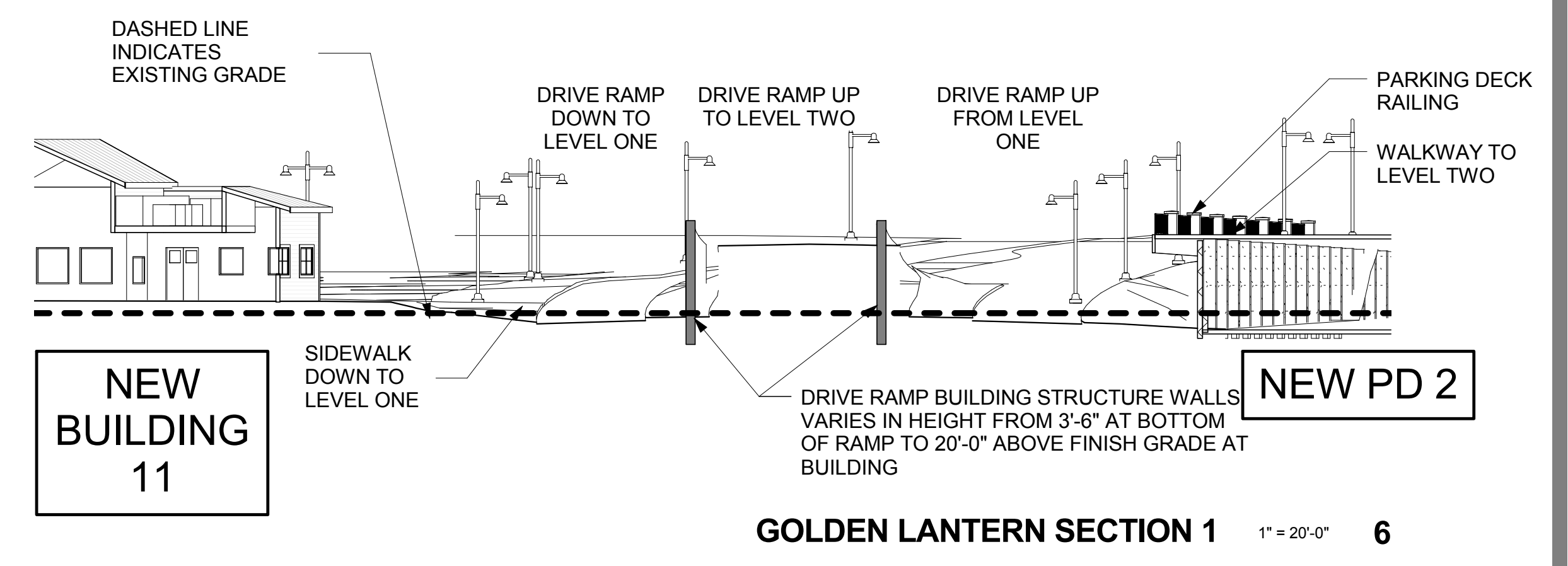




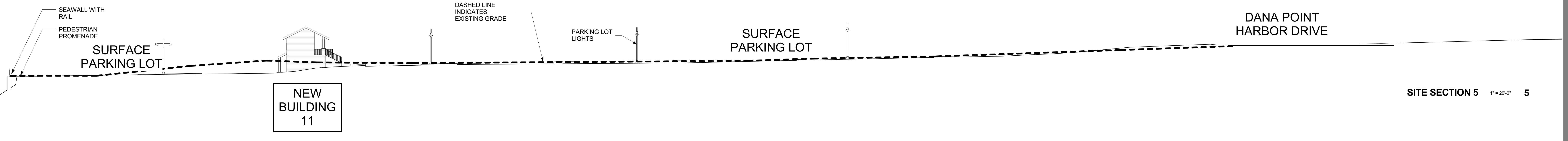
VIEW OF RAMP INTO GARAGE FROM GOLDEN LANTERN 8



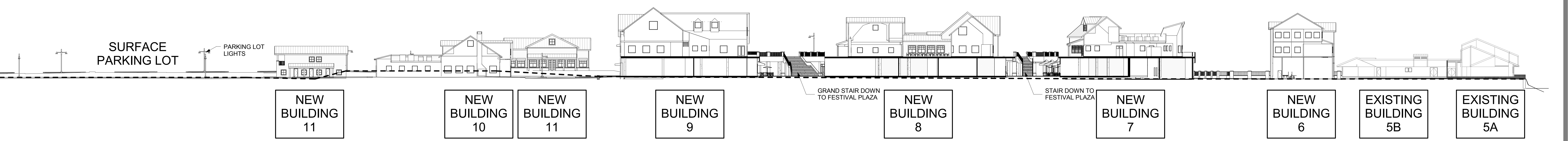
GOLDEN LANTERN SECTION 2 1" = 20'-0" 7



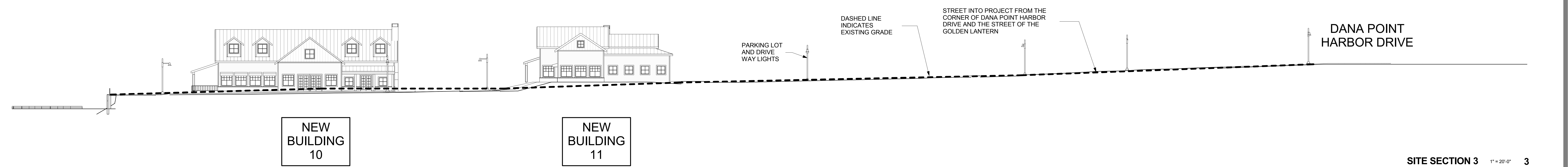
GOLDEN LANTERN SECTION 1 1" = 20'-0" 6



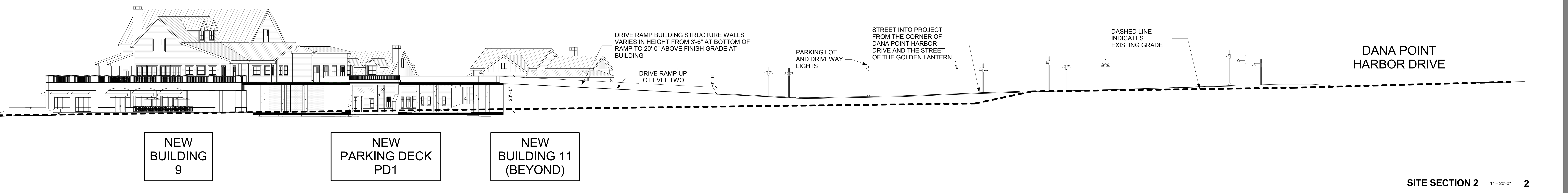
SITE SECTION 5 1" = 20'-0" 5



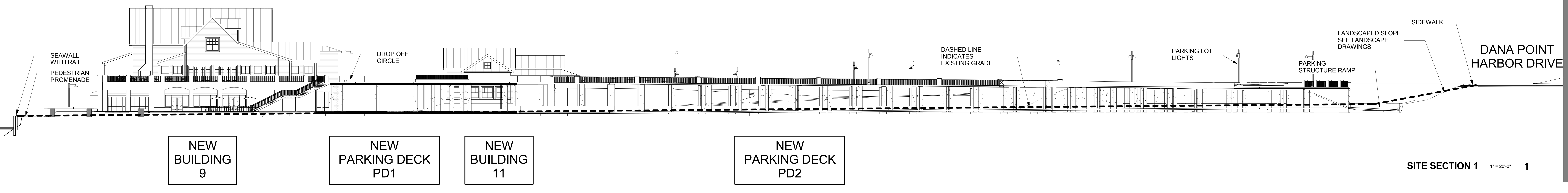
SITE SECTION 4 1" = 20'-0" 4



SITE SECTION 3 1" = 20'-0" 3



SITE SECTION 2 1" = 20'-0" 2



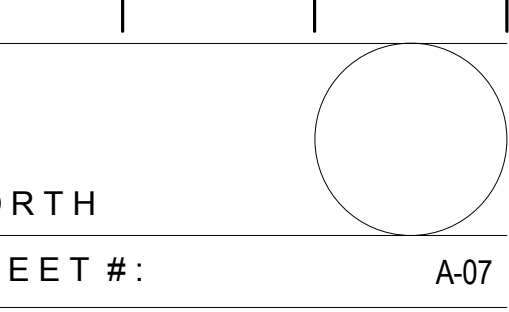
SITE SECTION 1 1" = 20'-0" 1

**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**
COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



PROJECT DIMENSIONS

REVISED: 3-27-14
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SCALE: As indicated

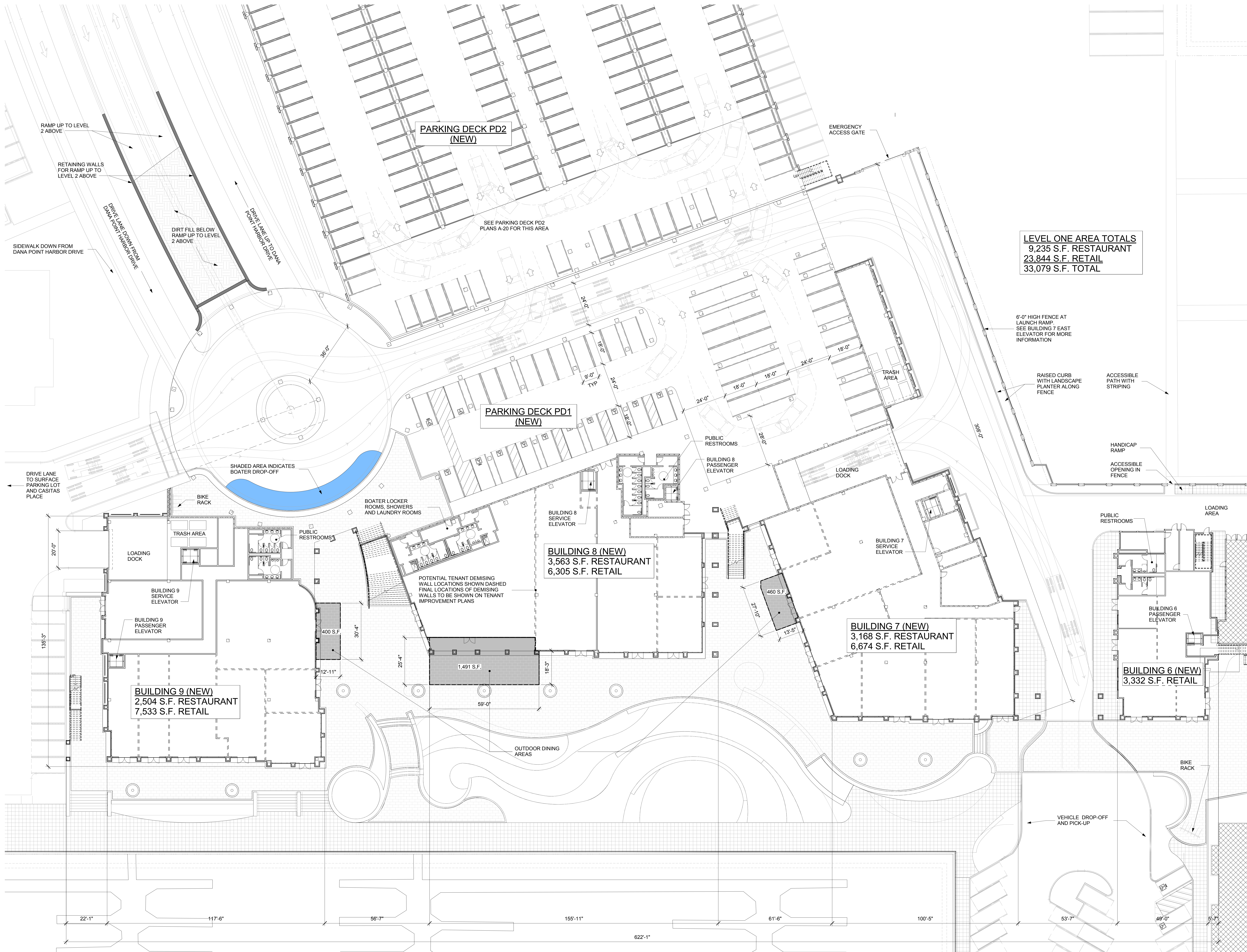


SITE SECTIONS

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**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



PROJECT DIMENSIONS™

DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/16" = 1'-0"

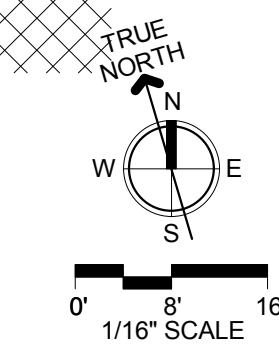
NORTH
SHEET #: A-08

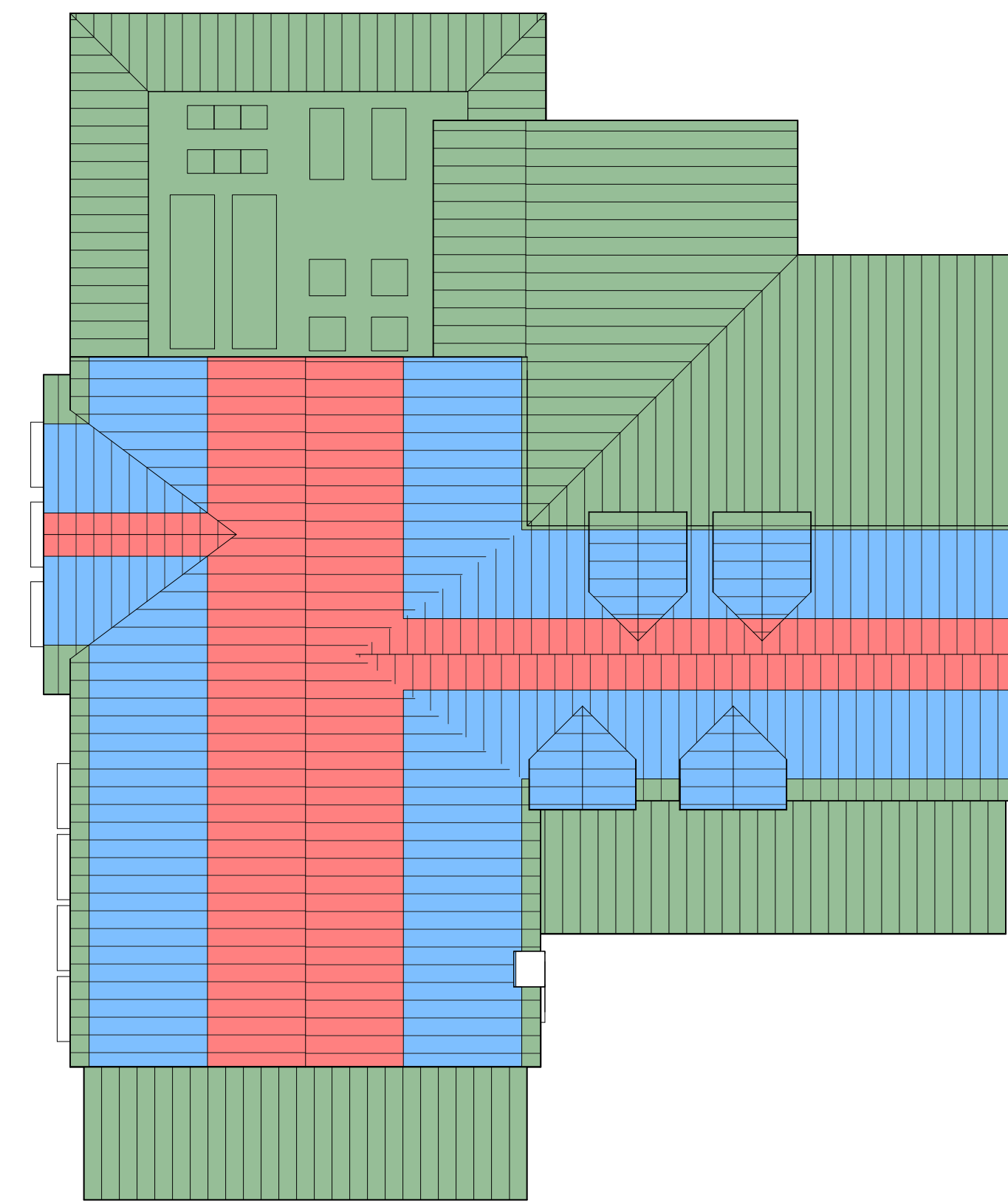
**LEVEL ONE
PLAN
BUILDINGS 6,
7, 8, & 9**

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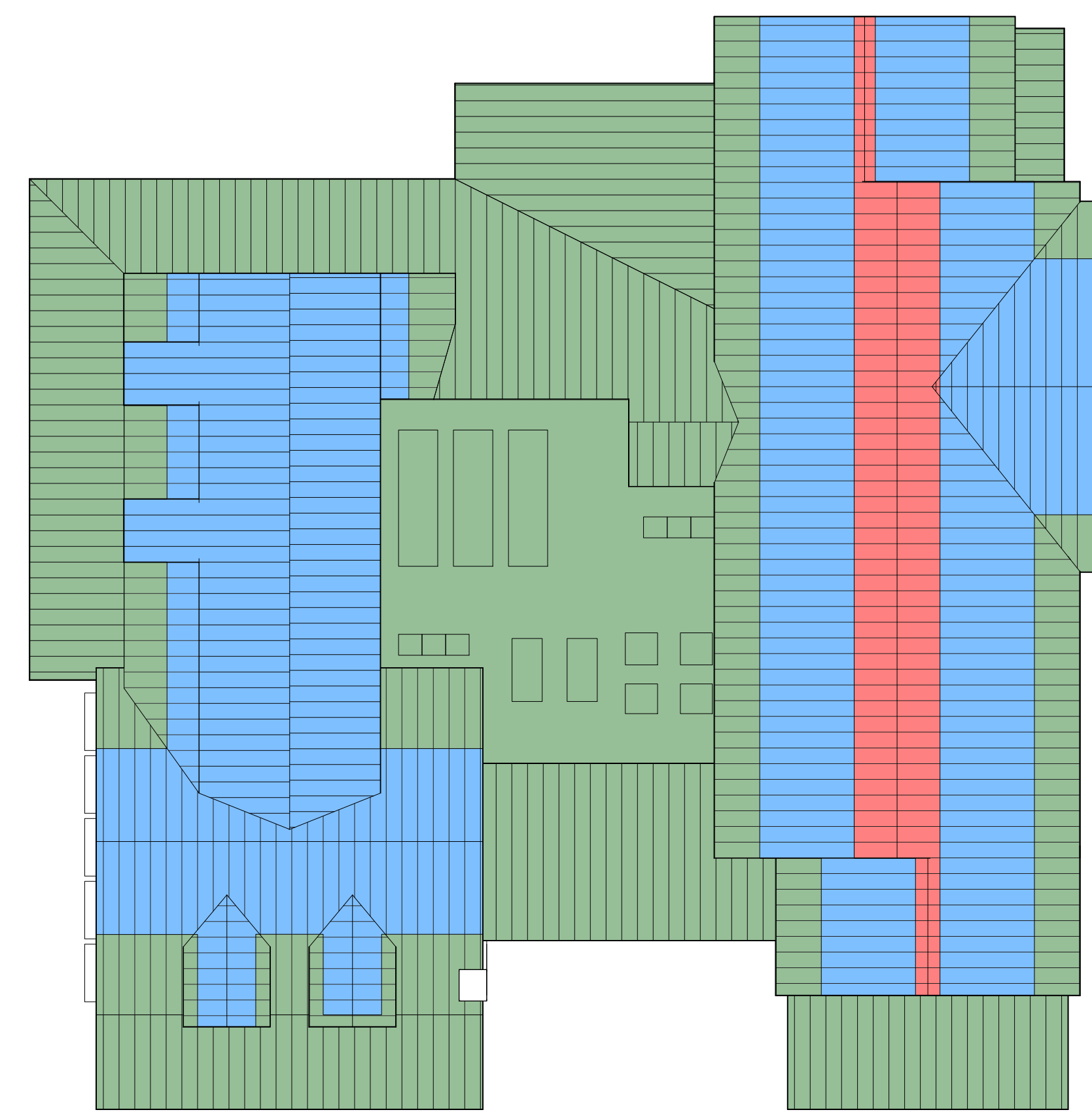




NEW BUILDING 9

BUILDING 9 ROOF AREA (MEASURED FROM FINISH GRADE)

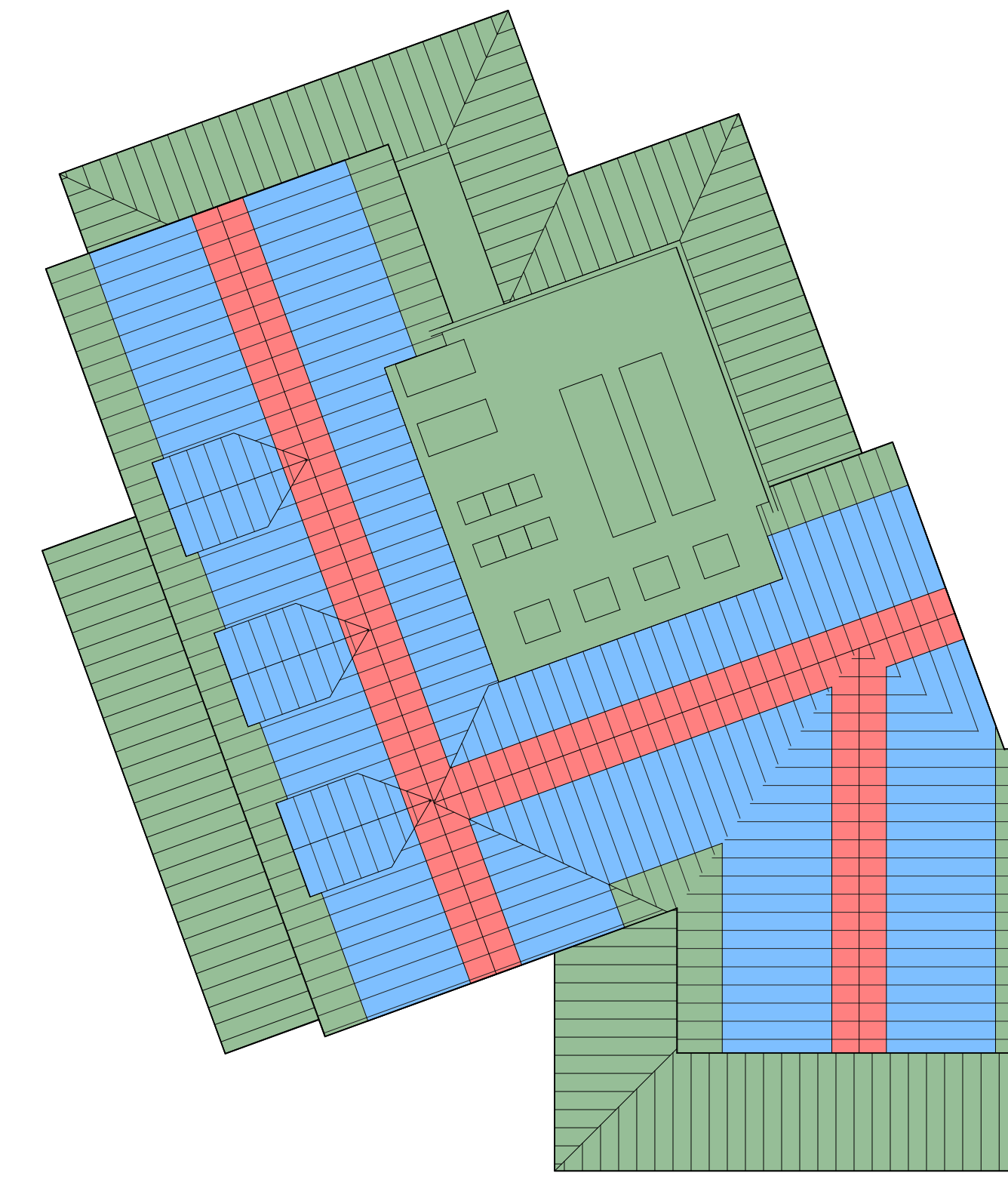
| | |
|-----------------------|------------------|
| TOTAL AREA (GREEN) | 11,723 S.F. |
| AREA ABOVE 40' (BLUE) | 5,692 S.F. 48.6% |
| AREA ABOVE 50' (RED) | 2,420 S.F. 20.6% |



NEW BUILDING 8

BUILDING 8 ROOF AREA (MEASURED FROM FINISH GRADE)

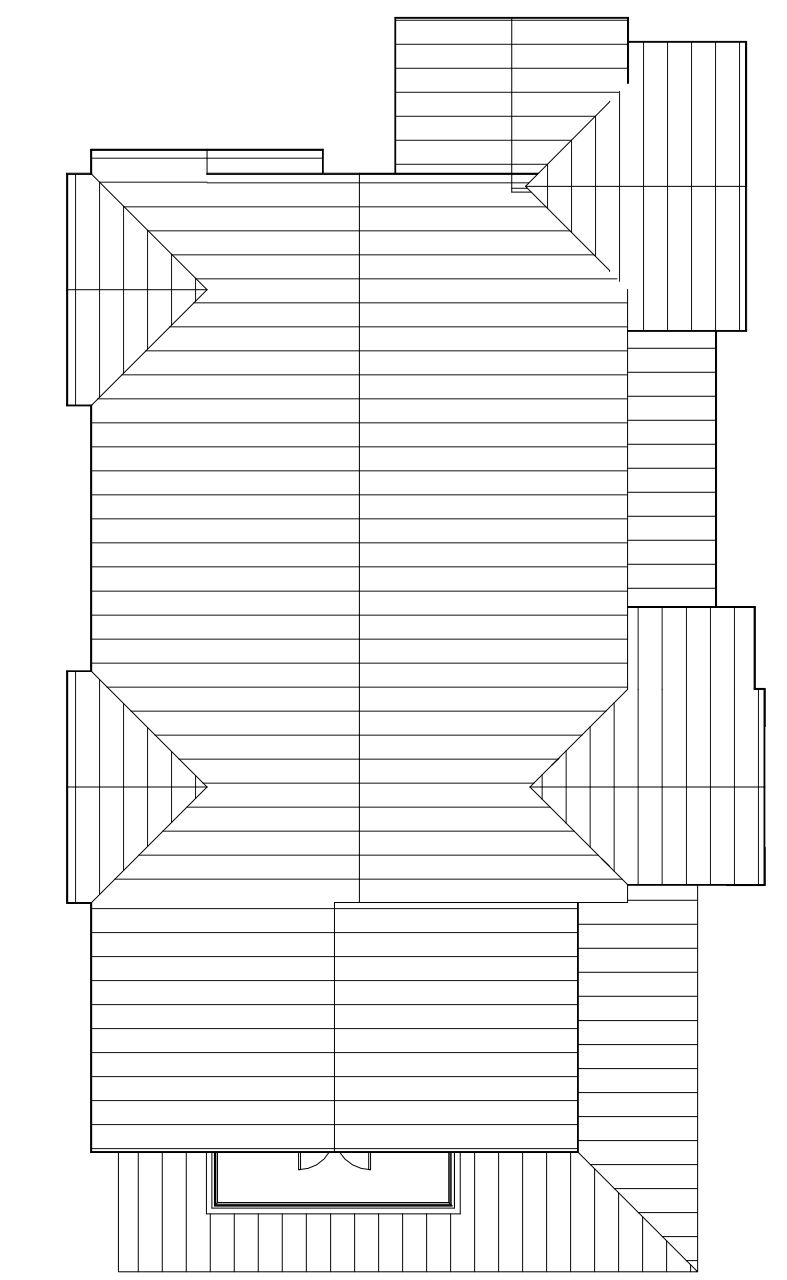
| | |
|-----------------------|------------------|
| TOTAL AREA (GREEN) | 16,042 S.F. |
| AREA ABOVE 40' (BLUE) | 7,490 S.F. 46.6% |
| AREA ABOVE 50' (RED) | 1,055 S.F. 6.5% |



NEW BUILDING 7

BUILDING 7 ROOF AREA (MEASURED FROM FINISH GRADE)

| | |
|-----------------------|------------------|
| TOTAL AREA (GREEN) | 9,915 S.F. |
| AREA ABOVE 40' (BLUE) | 4,730 S.F. 47.7% |
| AREA ABOVE 50' (RED) | 1,140 S.F. 11.4% |



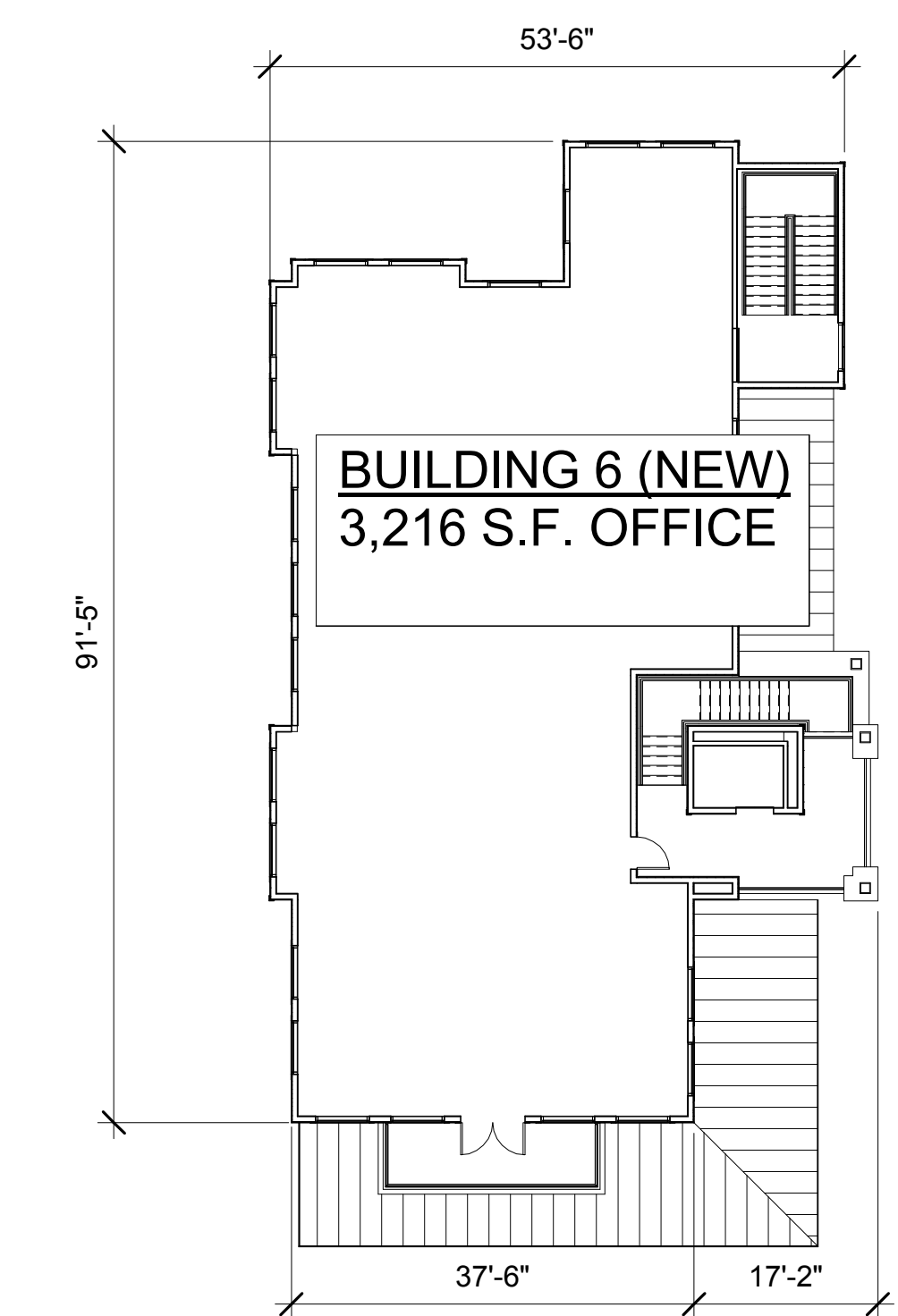
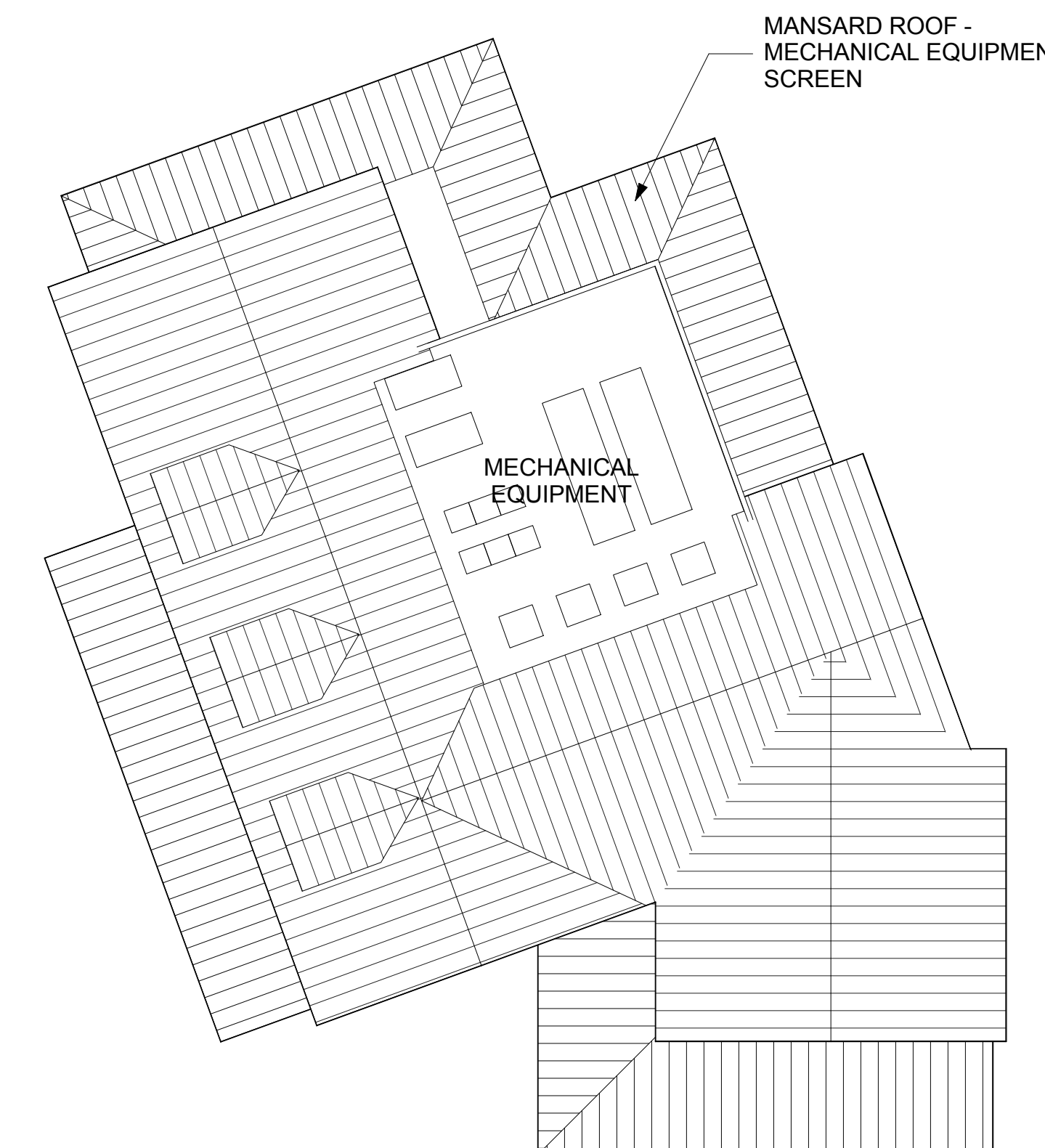
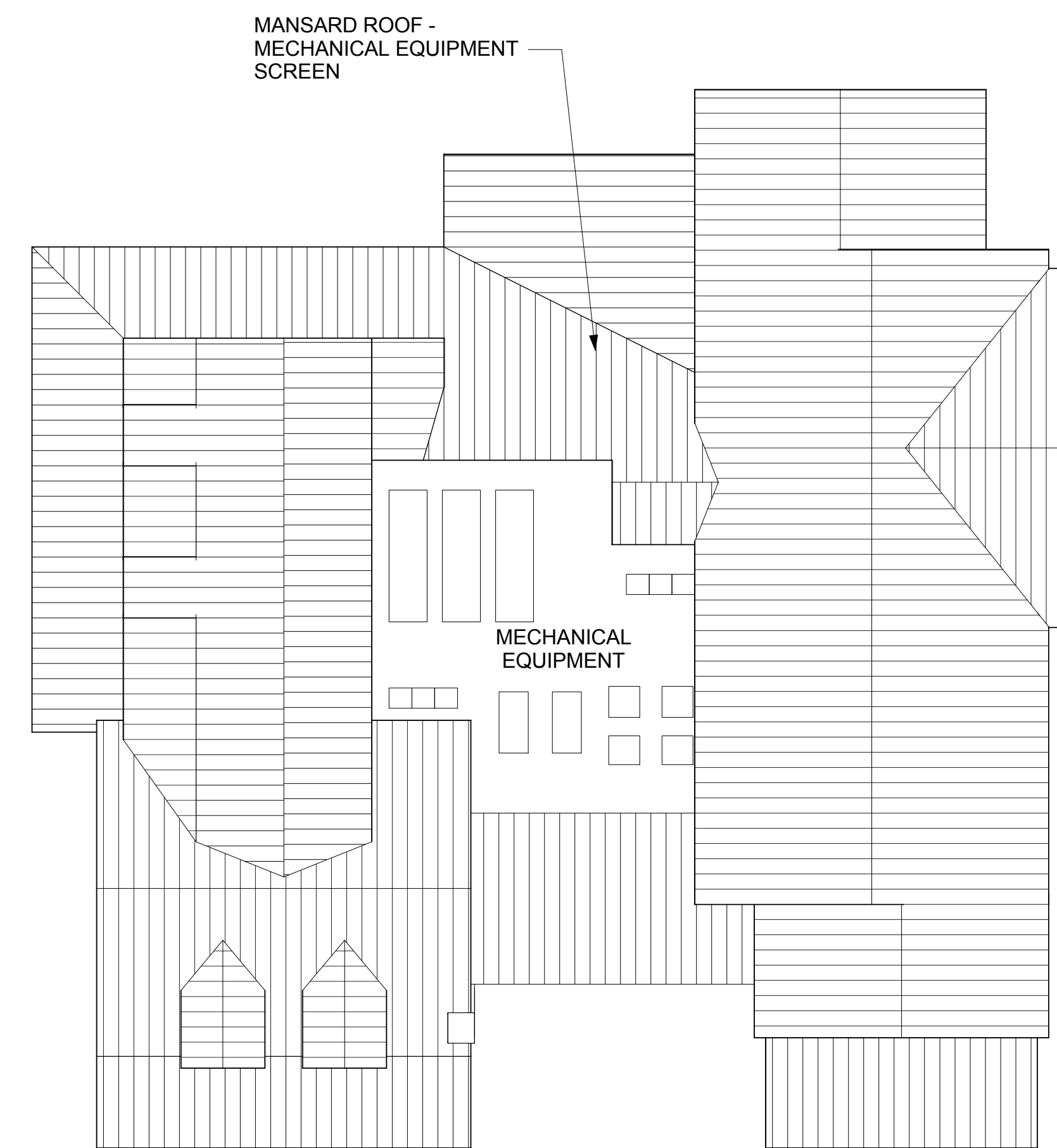
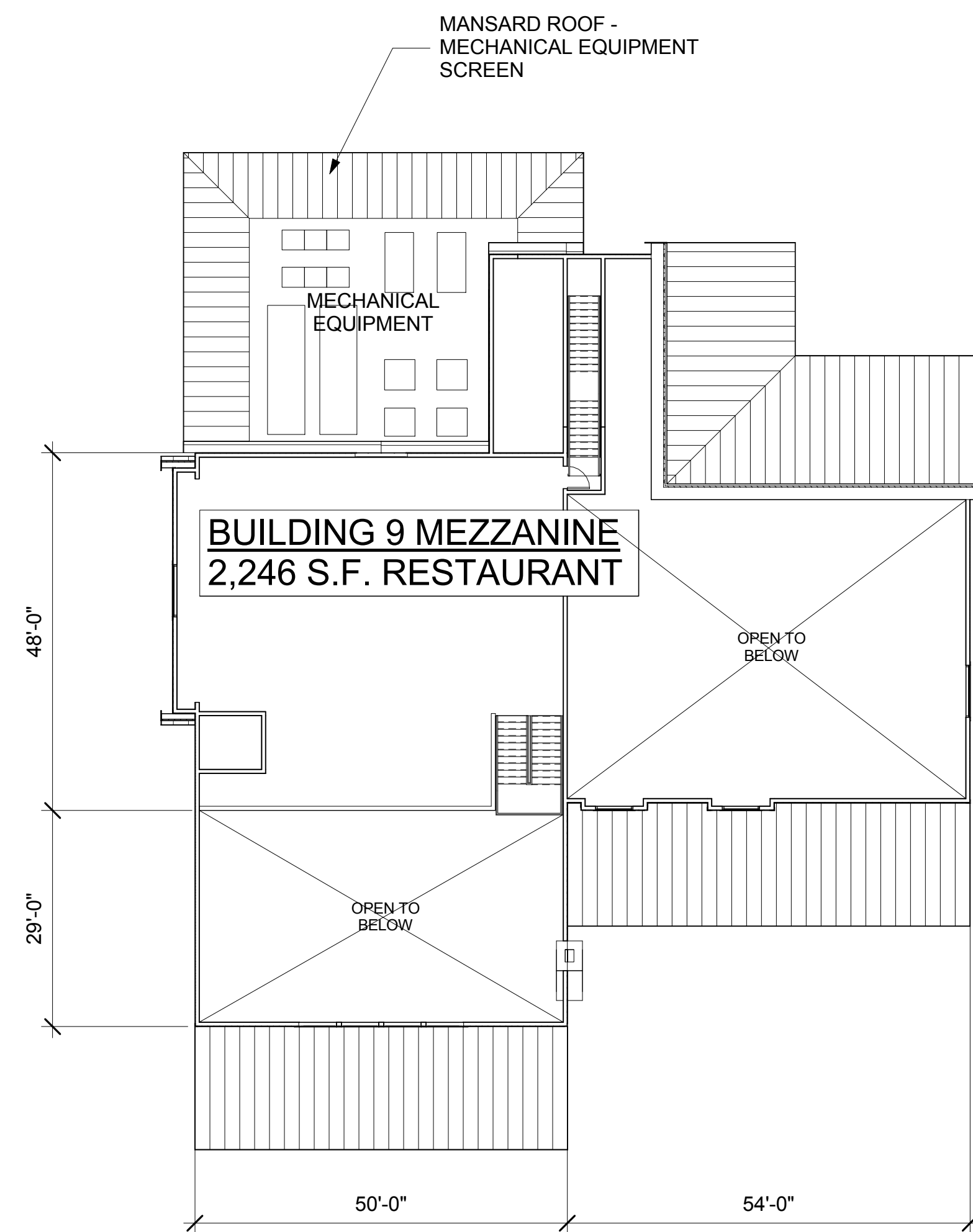
NEW BUILDING 6

BUILDING 6 ROOF AREA
BUILDING 6 EXEMPT FROM HEIGHT REQUIREMENTS.

LEVEL ROOF COMPOSITE 1/16" = 1'-0" 2

LEVEL THREE AREA TOTALS

| |
|-------------------------|
| 2,246 S.F. RESTAURANT |
| 3,216 S.F. OFFICE |
| 5,462 S.F. TOTAL |



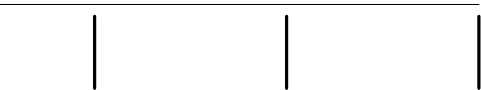
LEVEL 3 COMPOSITE 1/16" = 1'-0" 1

**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



| | |
|------------|---------------|
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| SCALE: | 1/16" = 1'-0" |



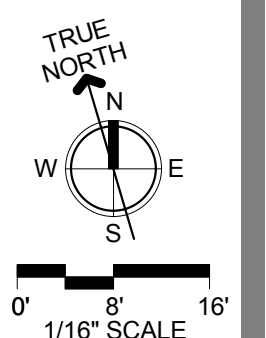
NORTH
SHEET #: A-10

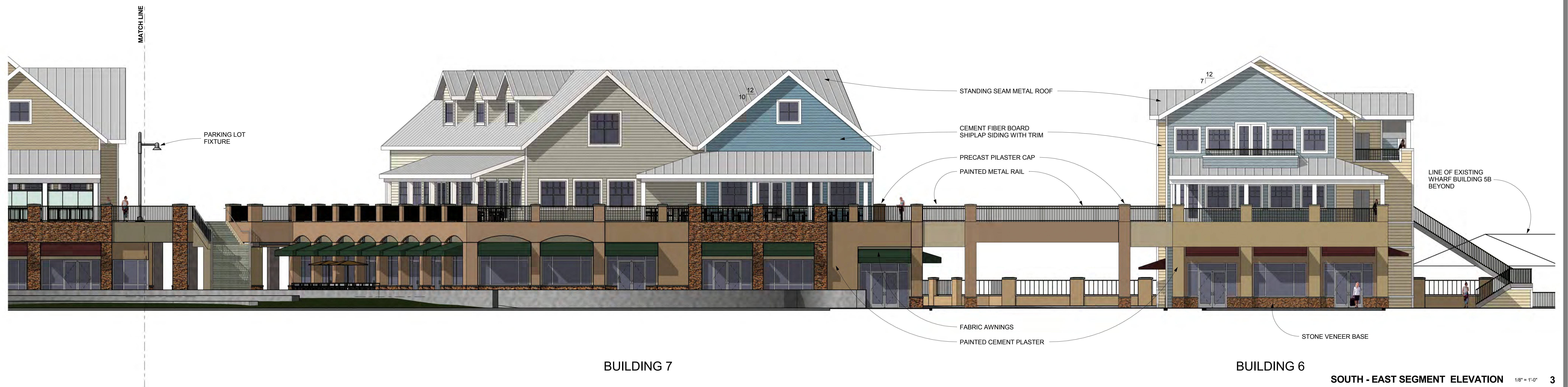
LEVEL THREE BUILDINGS 6, 7, 8, & 9

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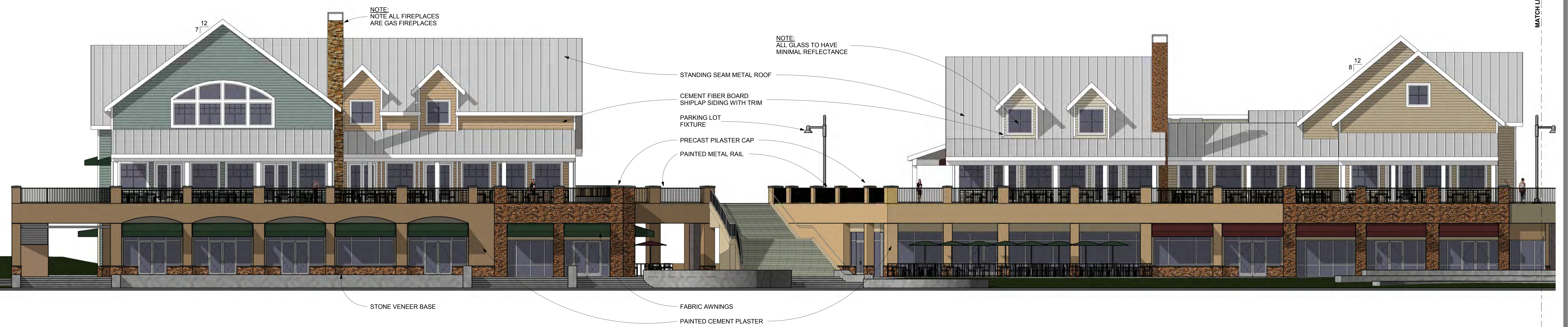




BUILDING 7

BUILDING 6

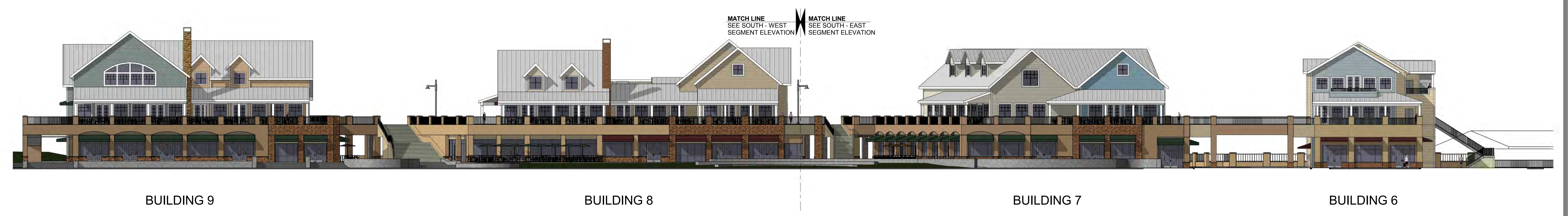
SOUTH - EAST SEGMENT ELEVATION 1/8" = 1'-0" 3



BUILDING 9

BUILDING 8

SOUTH - WEST SEGMENT ELEVATION 1/8" = 1'-0" 2



BUILDING 9

BUILDING 8

BUILDING 7

BUILDING 6

SOUTH COMPOSITE ELEVATION 1/16" = 1'-0" 1

NOTE:
SEE SHEET A-15 FOR BUILDING HEIGHTS EXHIBITS

**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



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| SCALE: | As indicated |

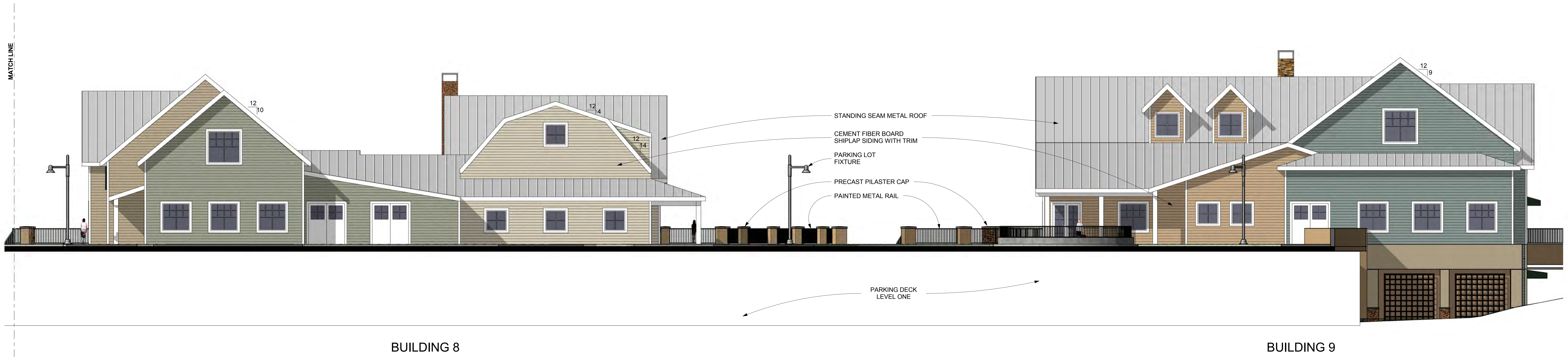
NORTH
SHEET #: A-11

**SOUTH
ELEVATION
BUILDINGS 6,
7, 8, & 9**

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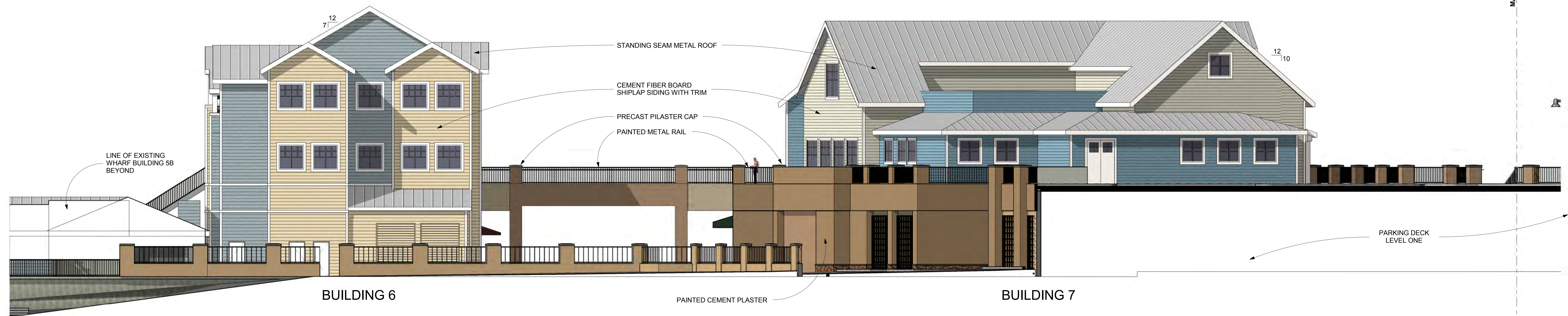
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BUILDING 8

BUILDING 9

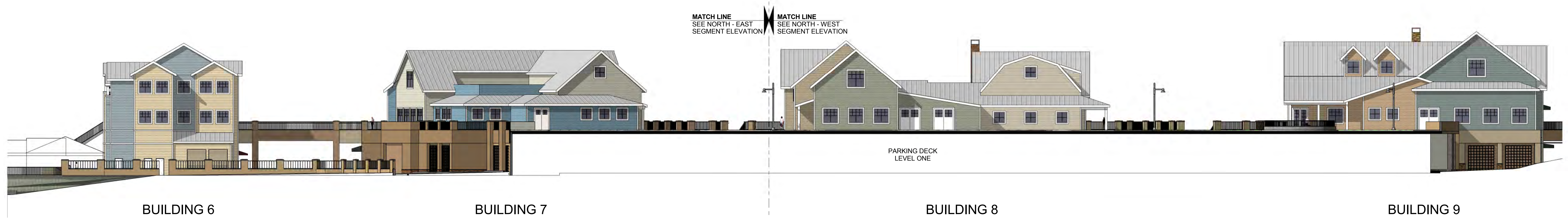
NORTH - WEST SEGMENT ELEVATION 1/8" = 1'-0" 3



BUILDING 6

BUILDING 7

NORTH - EAST SEGMENT ELEVATION 1/8" = 1'-0" 2



BUILDING 6

BUILDING 7

BUILDING 8

BUILDING 9

NORTH COMPOSITE ELEVATION 1/8" = 1'-0" 1

NOTE:
SEE SHEET A-15 FOR BUILDING HEIGHTS EXHIBITS

**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



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NORTH
SHEET #: A-12

**NORTH
ELEVATION
BUILDINGS 6,
7, 8, & 9**

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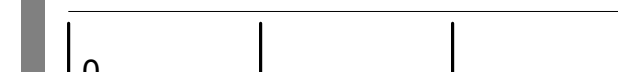
**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



PROJECT DIMENSIONS™

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NORTH
SHEET #: A-13

**EAST
ELEVATIONS
BUILDINGS
6, 7, 8, & 9**

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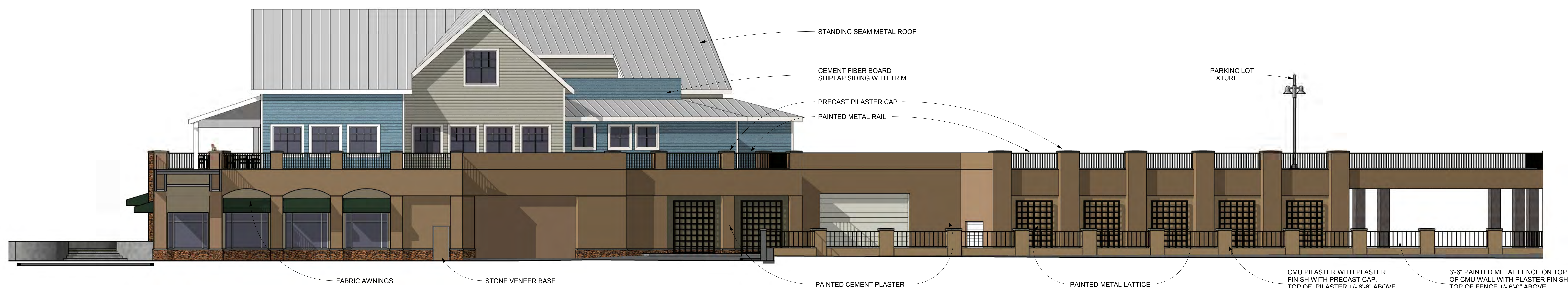
BUILDING 9 EAST ELEVATION 1/8" = 1'-0" 3



BUILDING 6 EAST ELEVATION 1/8" = 1'-0" 4

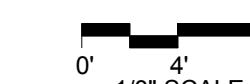


BUILDING 8 EAST ELEVATION 1/8" = 1'-0" 2



BUILDING 7 EAST ELEVATION 1/8" = 1'-0" 1

NOTE:
SEE SHEET A-15 FOR BUILDING HEIGHTS EXHIBITS



**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

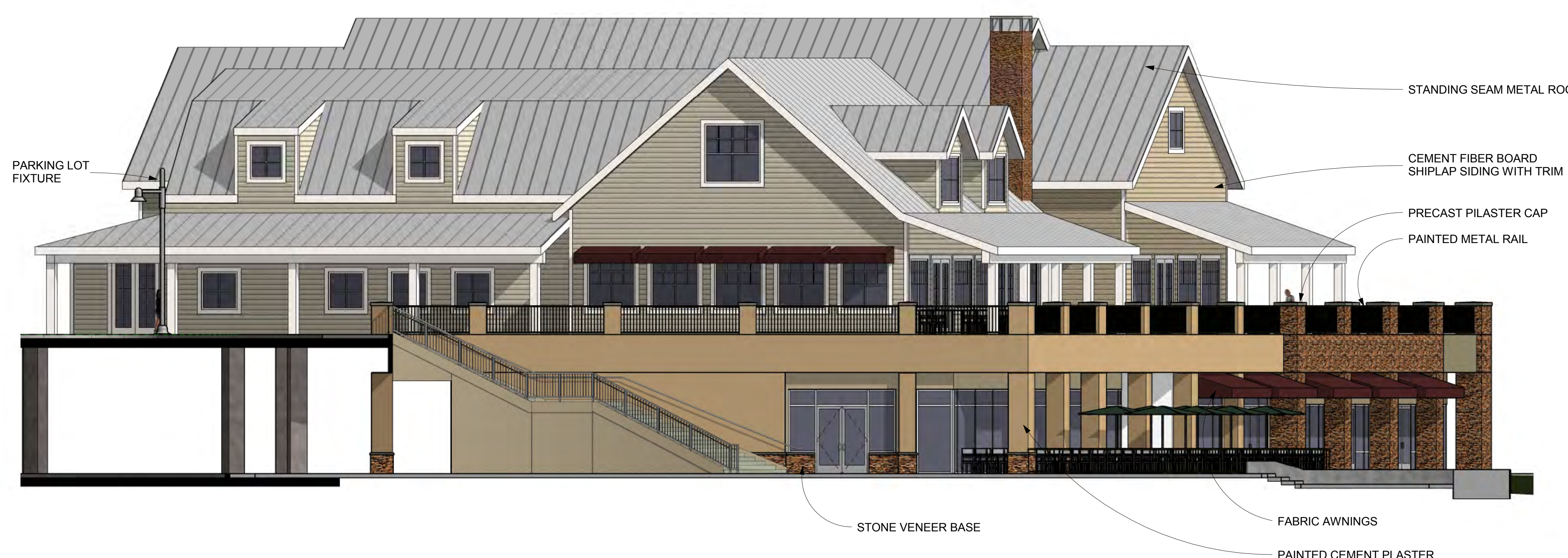
COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



BUILDING 9 WEST ELEVATION 1/8" = 1'-0" 3



BUILDING 6 WEST ELEVATION 1/8" = 1'-0" 6



BUILDING 8 WEST ELEVATION 1/8" = 1'-0" 2



NOTE:
GLASS TO BE ETCHED TO PREVENT BIRD STRIKES

TYPICAL OPTIONAL OUTDOOR DINNING GLASS RAIL AND WALL 5



TYPICAL OUTDOOR DINNING RAIL 4



BUILDING 7 WEST ELEVATION 1/8" = 1'-0" 1

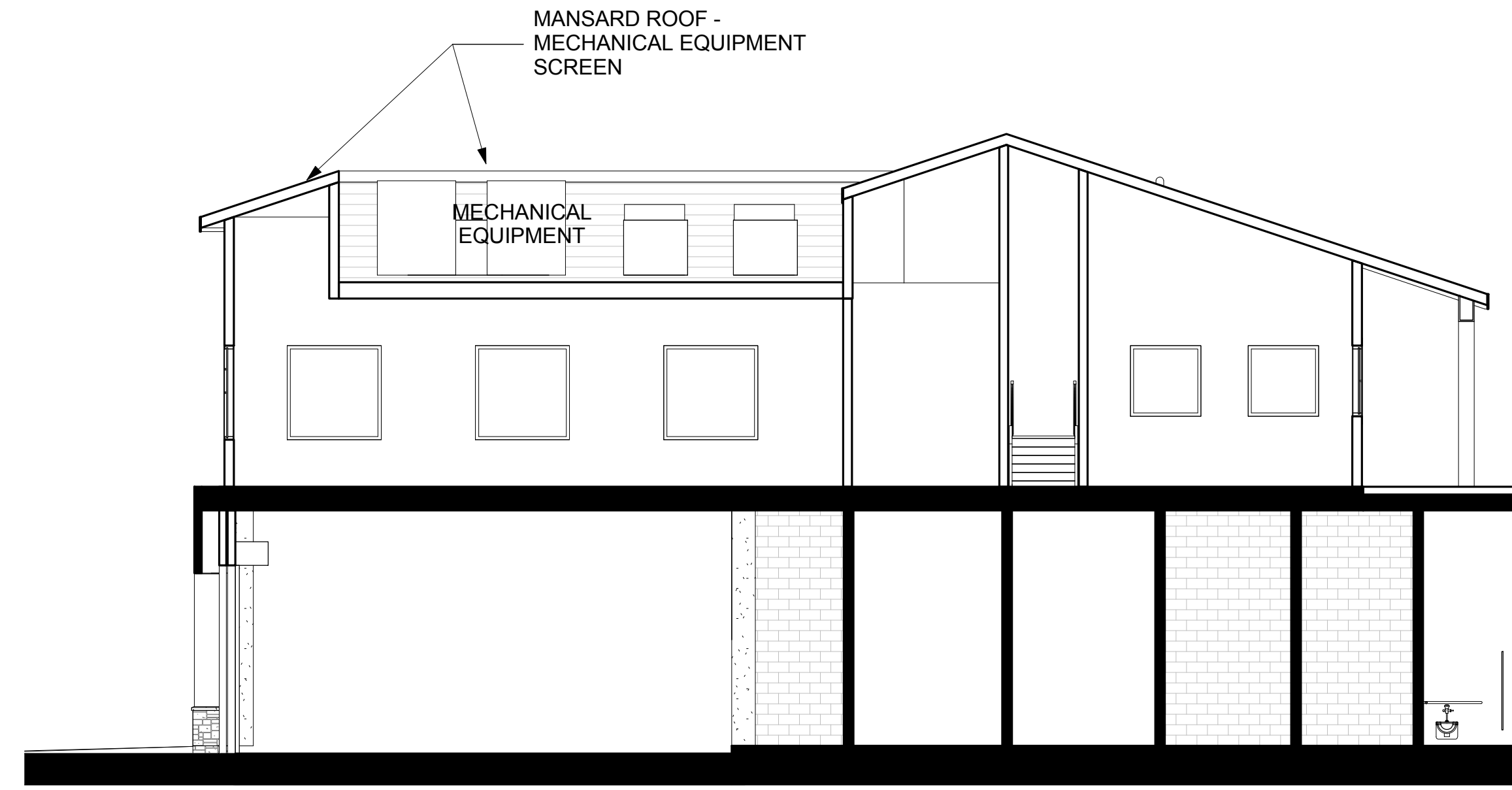
NOTE:
SEE SHEET A-15 FOR BUILDING HEIGHTS EXHIBITS

| | |
|------------|--------------|
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| DATE: | 12-20-13 |
| PROJECT #: | 2011-40140 |
| SCALE: | 1/8" = 1'-0" |
| 0 | |
| NORTH | |
| SHEET #: | A-14 |

**WEST
ELEVATIONS
BUILDINGS
6, 7, 8, & 9**

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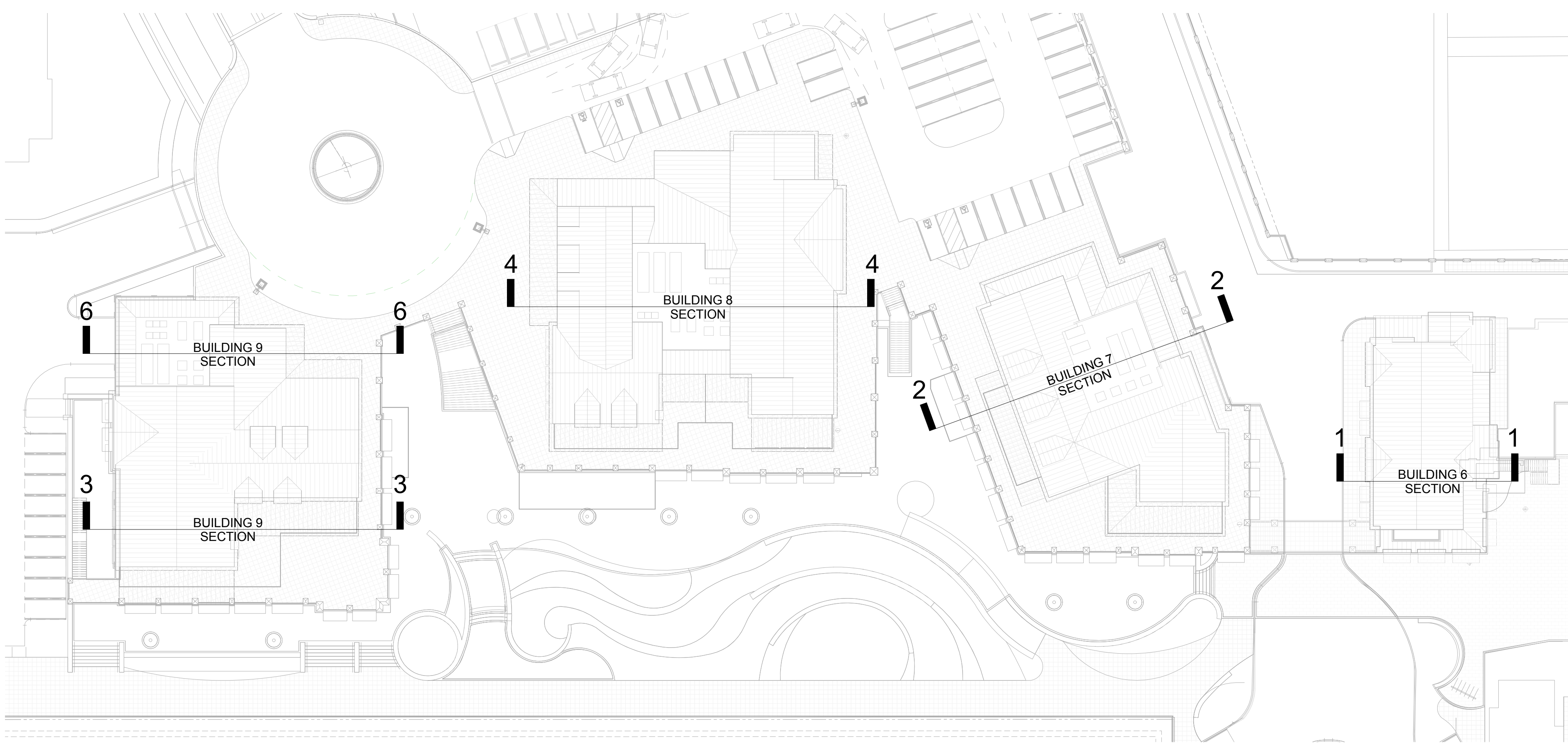
BUILDING 9



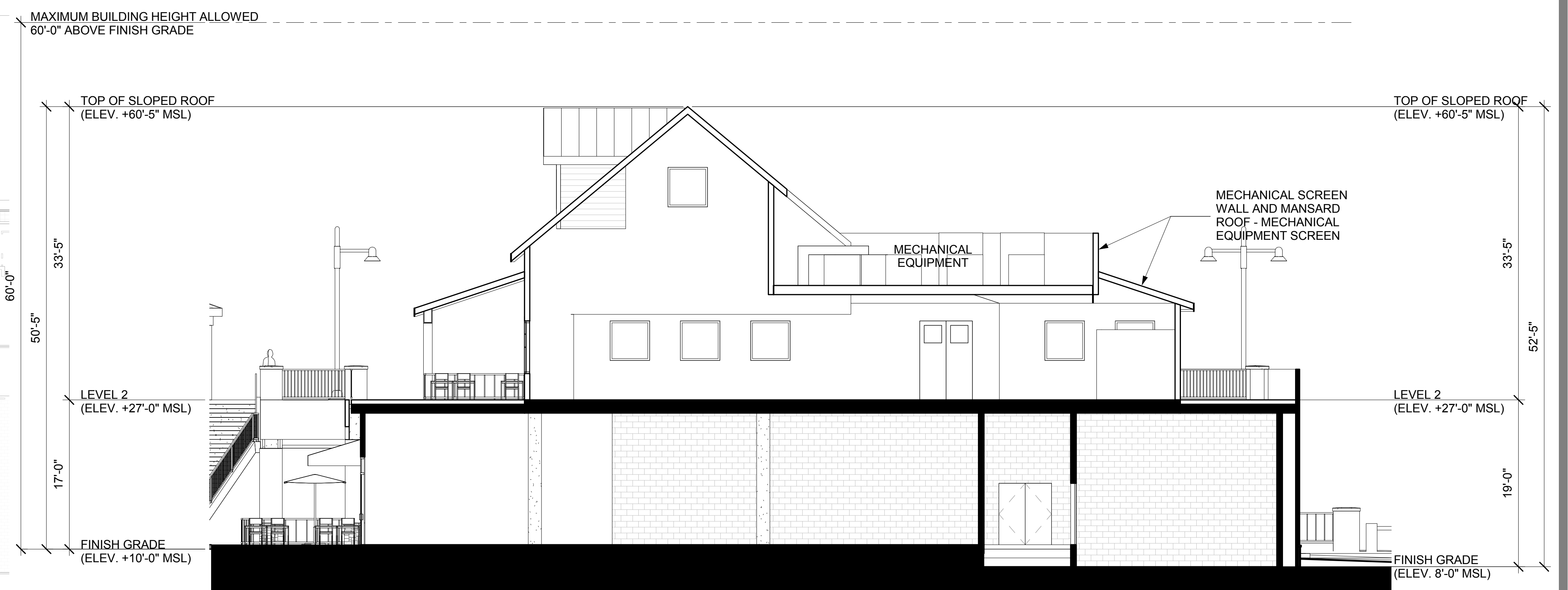
BUILDING 9
 EXISTING GRADE: 8'-6" TO 11'-0" ABOVE MEAN SEA LEVEL
 NEW PAD ELEVATION: 9'-6" ABOVE MEAN SEA LEVEL
 NEW FINISH FLOOR ELEVATION: 10'-6" ABOVE MEAN SEA LEVEL
 PROPOSED MAXIMUM BUILDING HEIGHT: 58'-4"

BUILDING 9 SECTION 1/8" = 1'-0" 6

BUILDING 9 SECTION 1/8" = 1'-0" 3

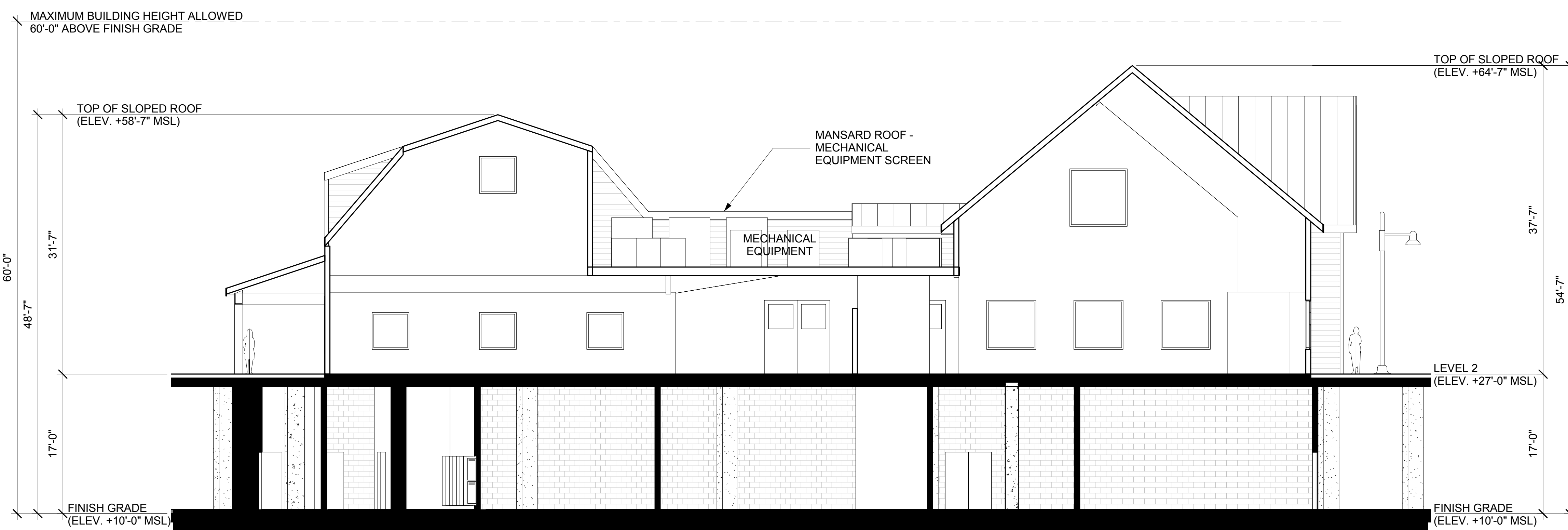


SITE KEY PLAN BUILDING HEIGHTS 1/32" = 1'-0" 5



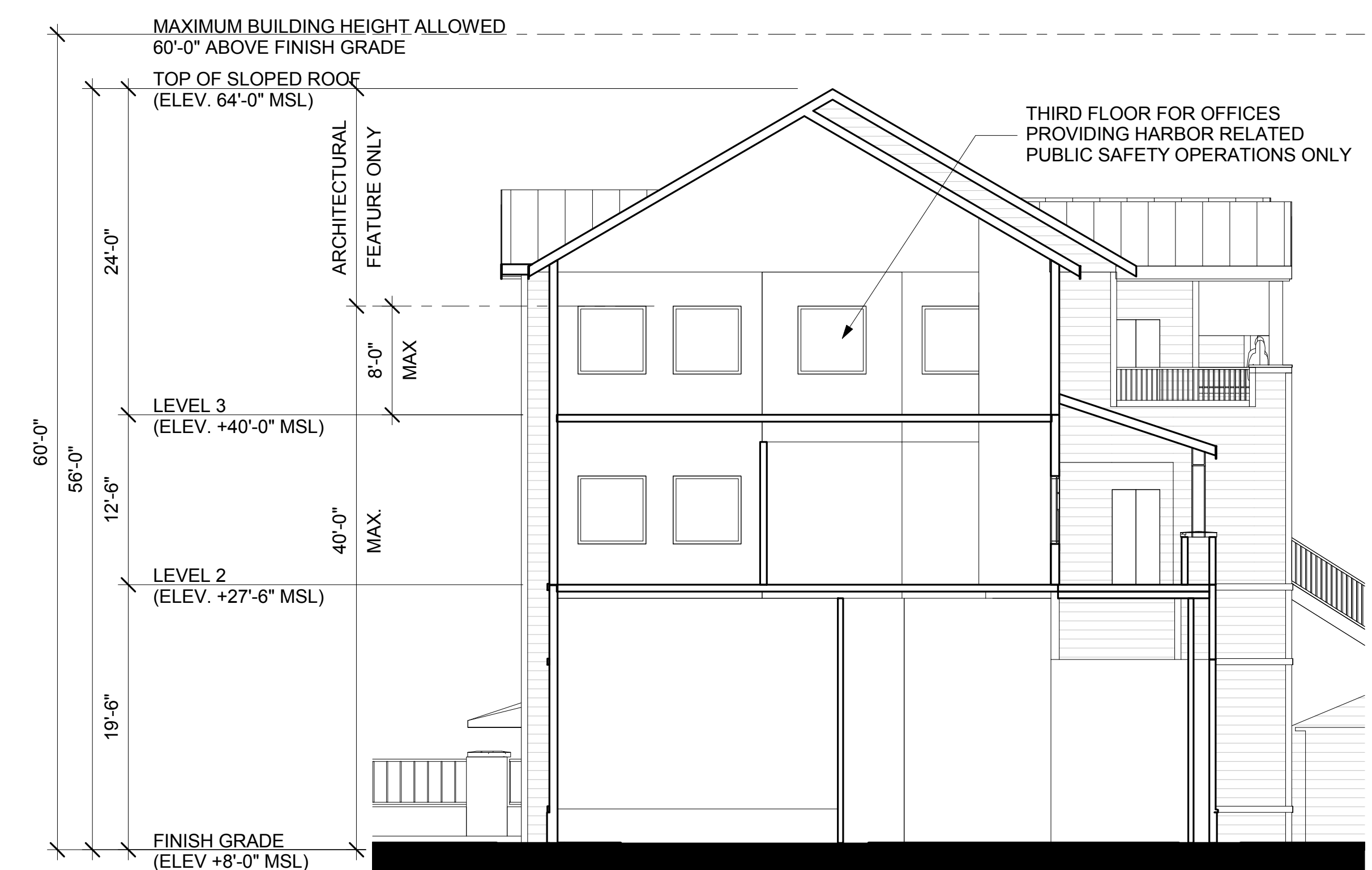
BUILDING 7
 EXISTING GRADE: 7'-5" TO 9'-4" ABOVE MEAN SEA LEVEL
 NEW PAD ELEVATION: 9'-6" ABOVE MEAN SEA LEVEL
 NEW FINISH FLOOR ELEVATION: 10'-6" ABOVE MEAN SEA LEVEL
 PROPOSED MAXIMUM BUILDING HEIGHT: 52'-5"

BUILDING 7 SECTION 1/8" = 1'-0" 2



BUILDING 8
 EXISTING GRADE: 8'-6" TO 10'-6" ABOVE MEAN SEA LEVEL
 NEW PAD ELEVATION: 9'-6" ABOVE MEAN SEA LEVEL
 NEW FINISH FLOOR ELEVATION: 10'-6" ABOVE MEAN SEA LEVEL
 PROPOSED MAXIMUM BUILDING HEIGHT: 54'-7"

BUILDING 8 SECTION 1/8" = 1'-0" 4



BUILDING 6
 EXISTING GRADE: 8'-0" ABOVE MEAN SEA LEVEL
 NEW PAD ELEVATION: 7'-6" ABOVE MEAN SEA LEVEL
 NEW FINISH FLOOR ELEVATION: 8'-6" ABOVE MEAN SEA LEVEL
 PROPOSED MAXIMUM BUILDING HEIGHT: 56'-0"

BUILDING 6 SECTION 1/8" = 1'-0" 1



DATE: 12-20-13
 PROJECT #: 2011-40140
 SCALE: As indicated

0
 NORTH
 SHEET #: A-15

**BUILDINGS
 6, 7, 8, & 9
 HEIGHT
 SECTIONS**

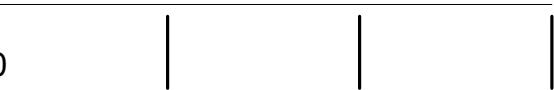
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**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



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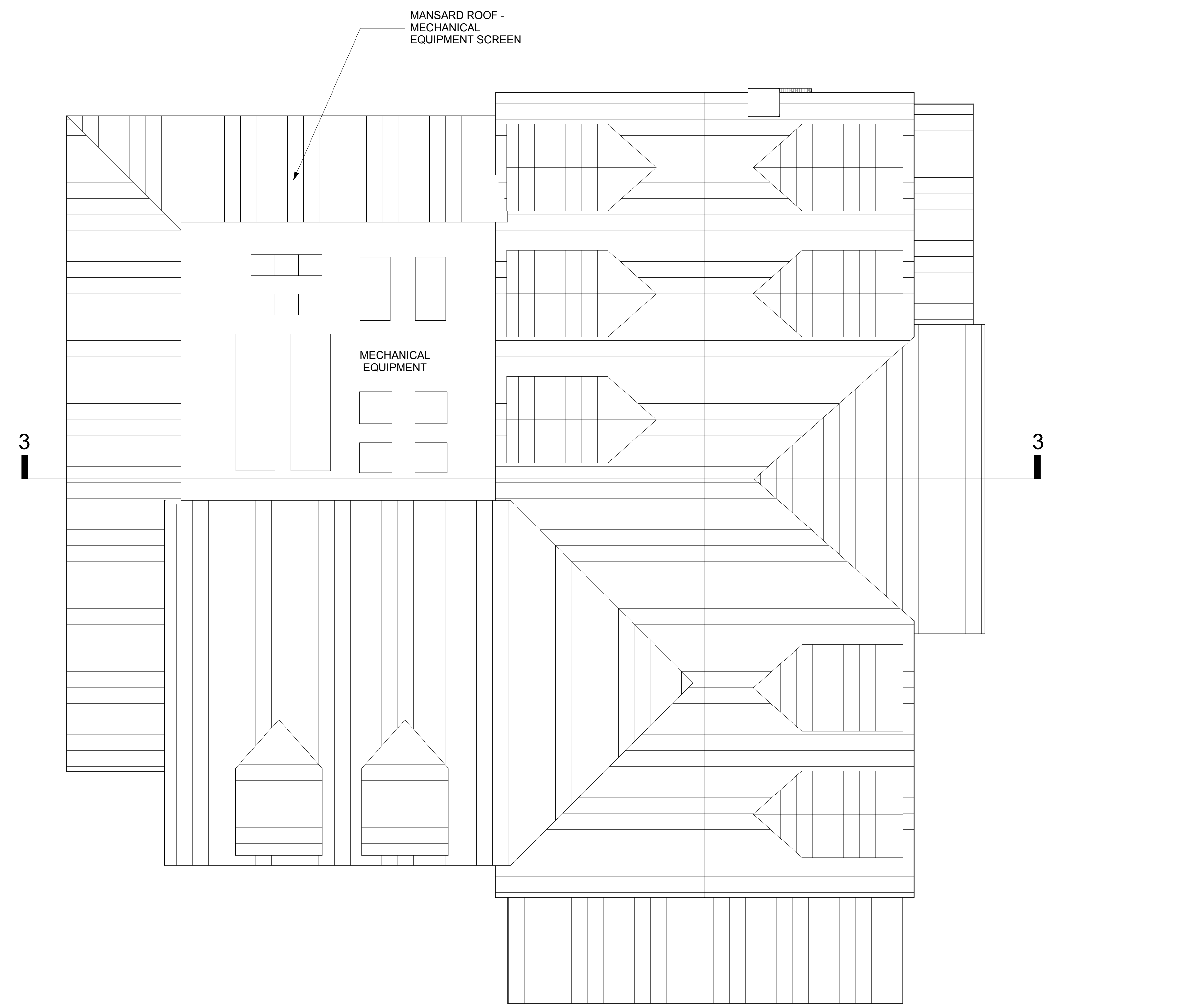
NORTH
SHEET #: A-16

**BUILDING 10
PLANS**

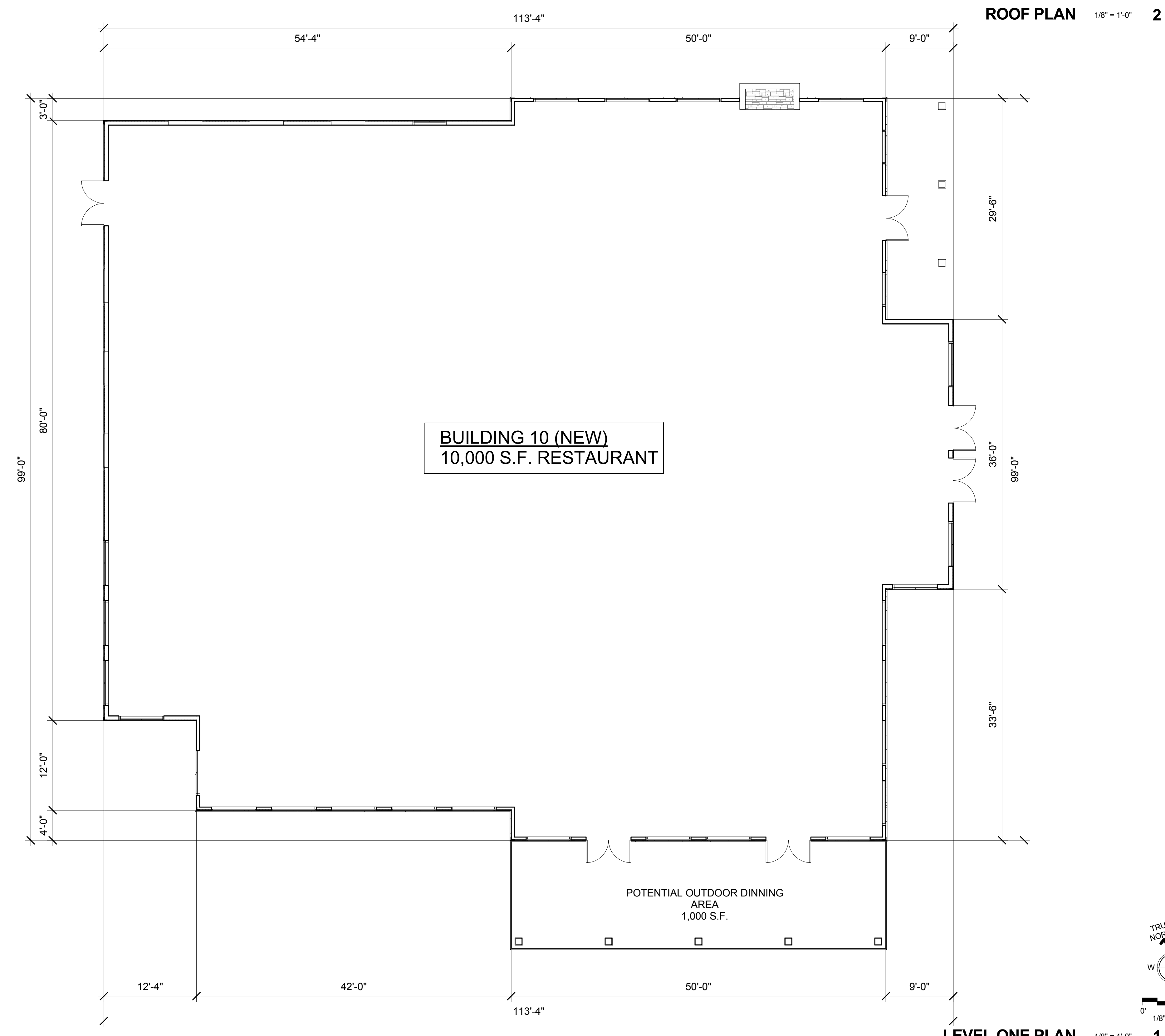
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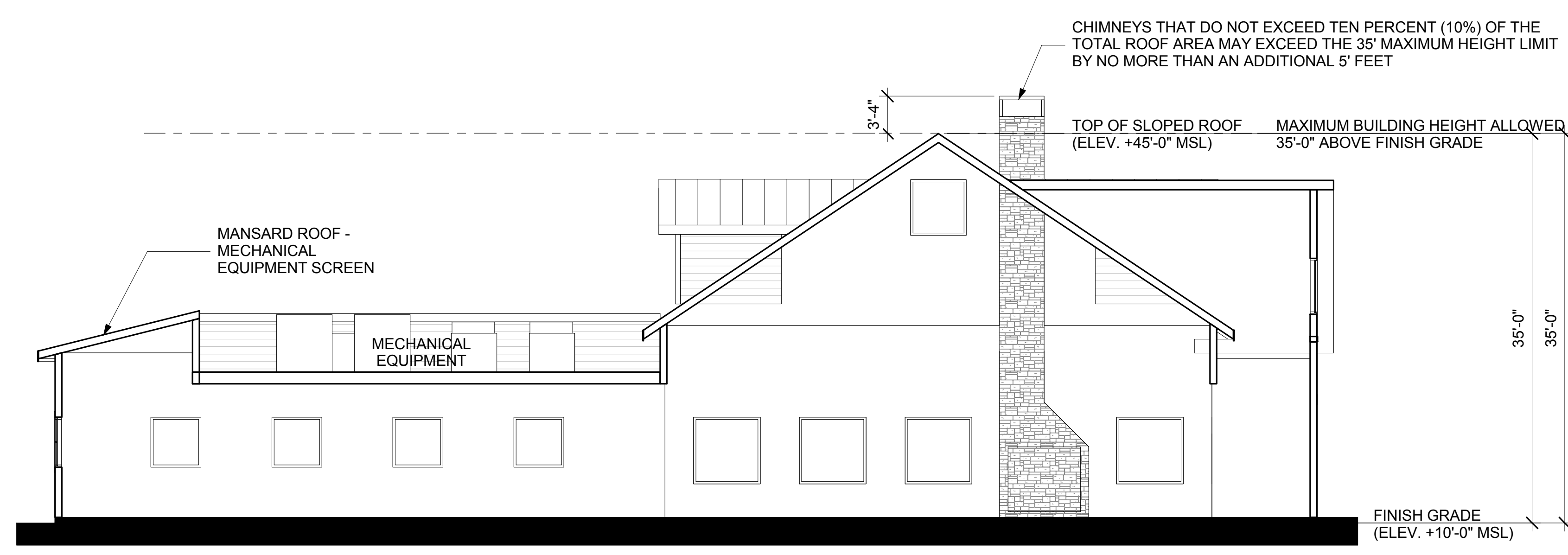
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Troy, California 92464
Tel: 951-324-1240 | Fax: 951-324-1381
info@mve-institutional.com
www.mvearchitecture.com



ROOF PLAN 1/8" = 1'-0" 2



LEVEL ONE PLAN 1/8" = 1'-0" 1



EXISTING GRADE: 8'-6" TO 20'-0" ABOVE MEAN SEA LEVEL
NEW PAD ELEVATION: 9'-0" ABOVE MEAN SEA LEVEL
NEW FINISH FLOOR ELEVATION: 10'-6" ABOVE MEAN SEA LEVEL
PROPOSED MAXIMUM BUILDING HEIGHT: 35'-0"

BUILDING 10 SECTION 1/8" = 1'-0" 3

**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



REVISED: 3-27-14
DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/8" = 1'-0"

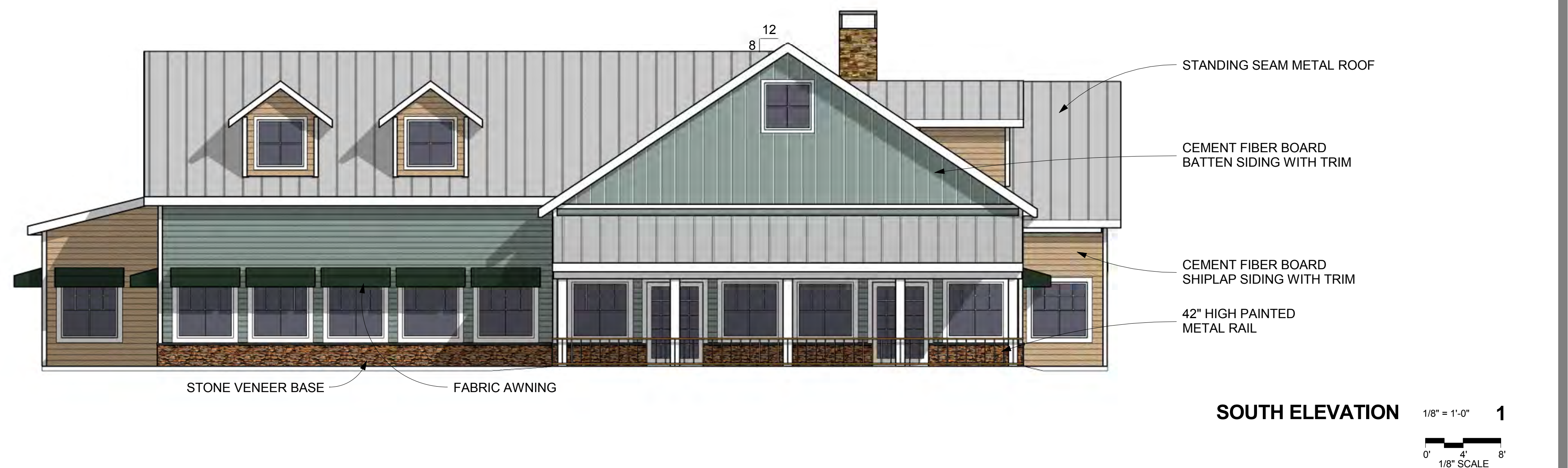
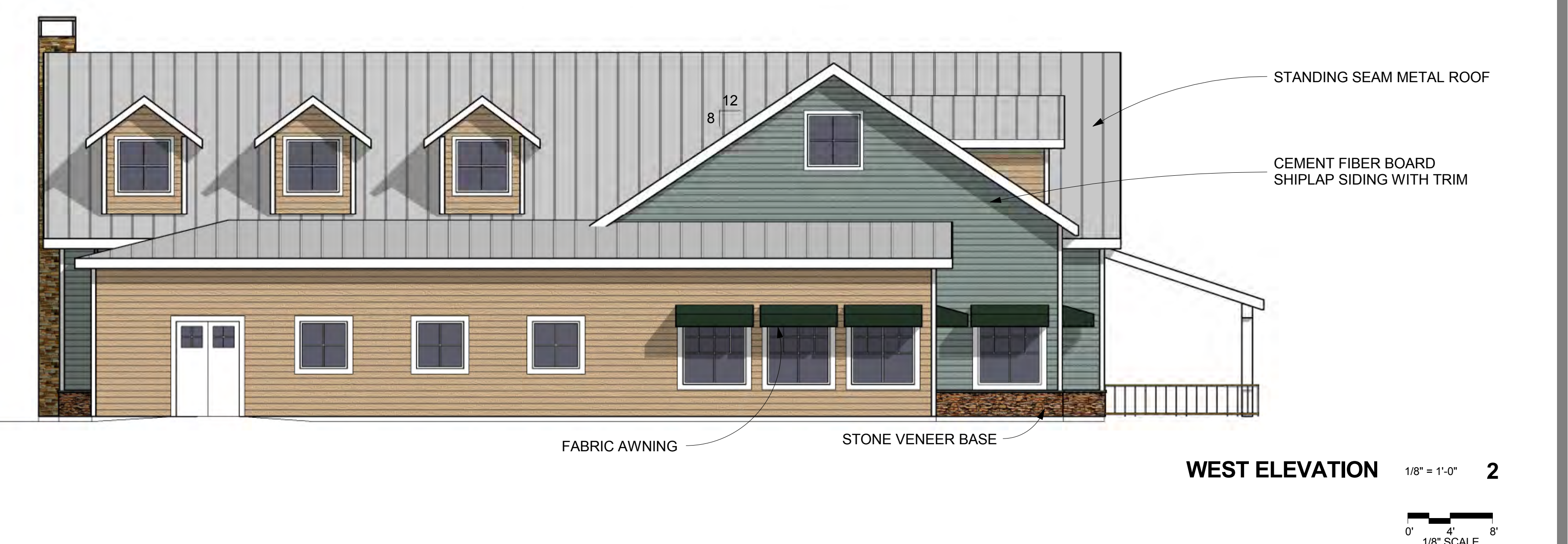


NORTH
SHEET #: A-17

**BUILDING 10
ELEVATIONS**

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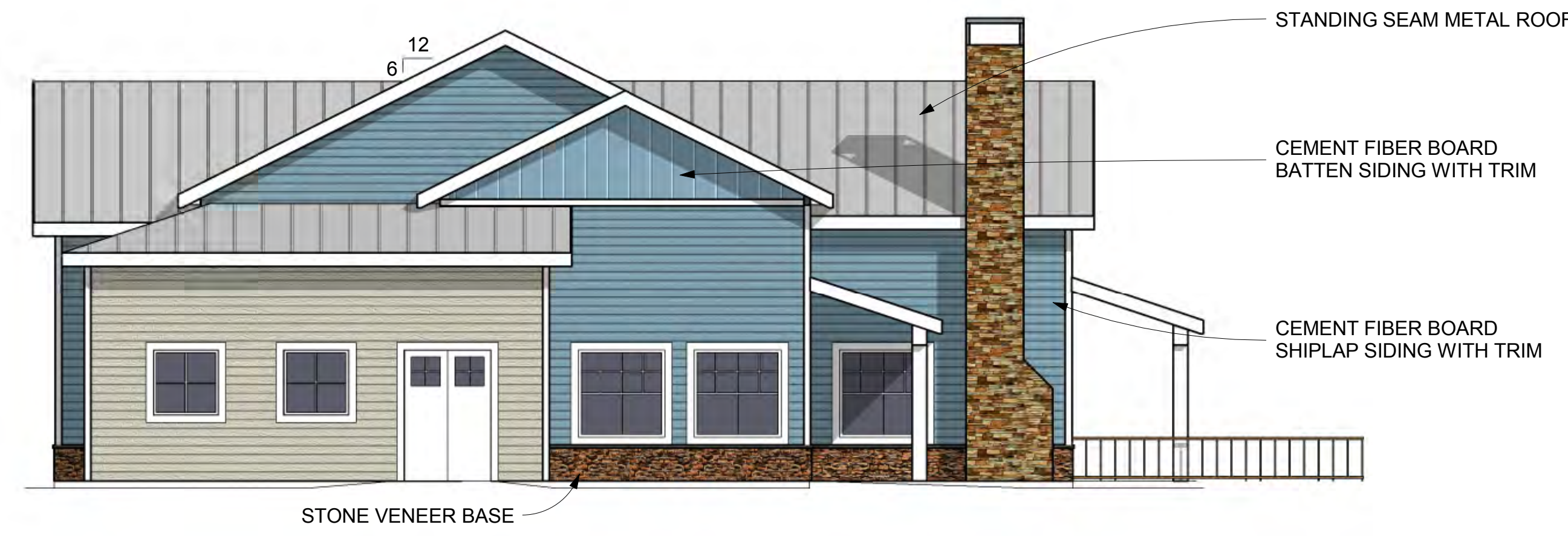
VIEW FROM SOUTHEAST 6



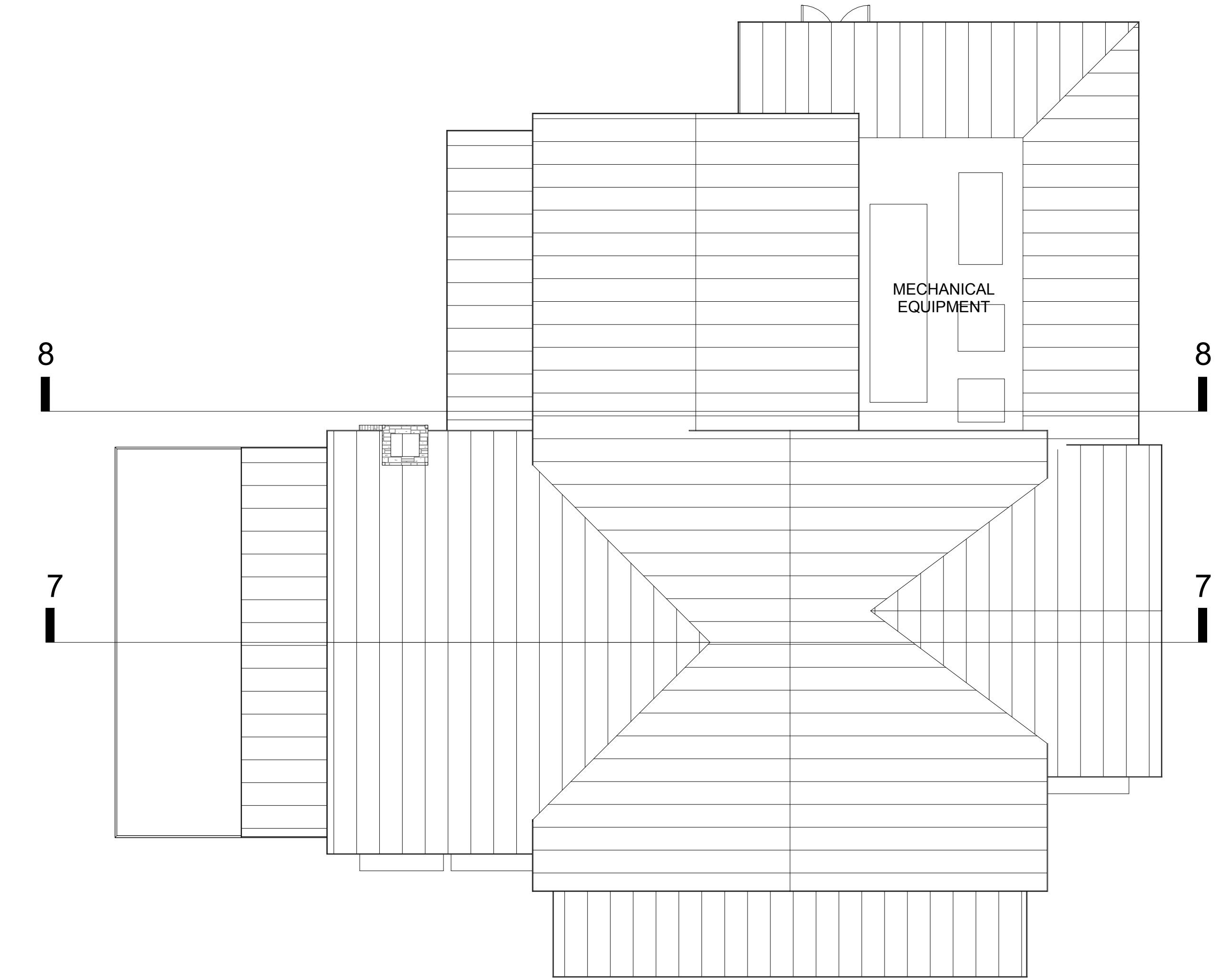
VIEW FROM SOUTH WEST 5



VIEW FROM SOUTHEAST 10



NORTH ELEVATION 1/8" = 1'-0" 6



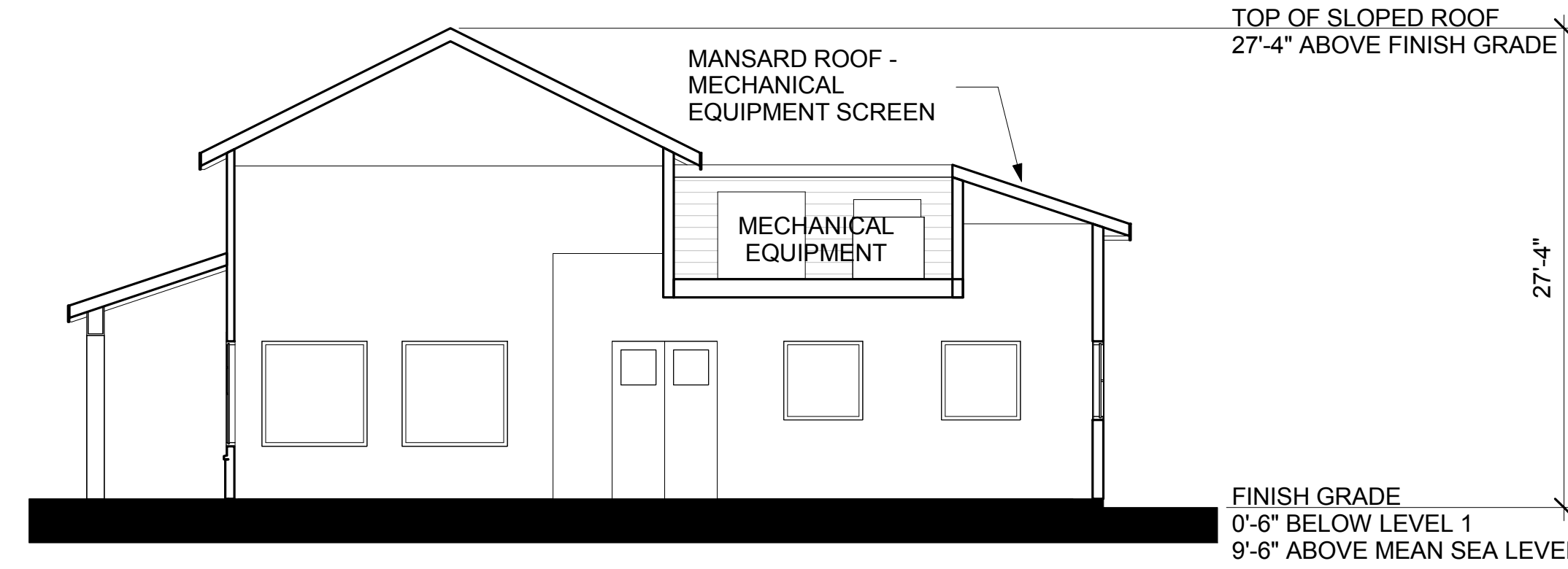
ROOF PLAN 1/8" = 1'-0" 2



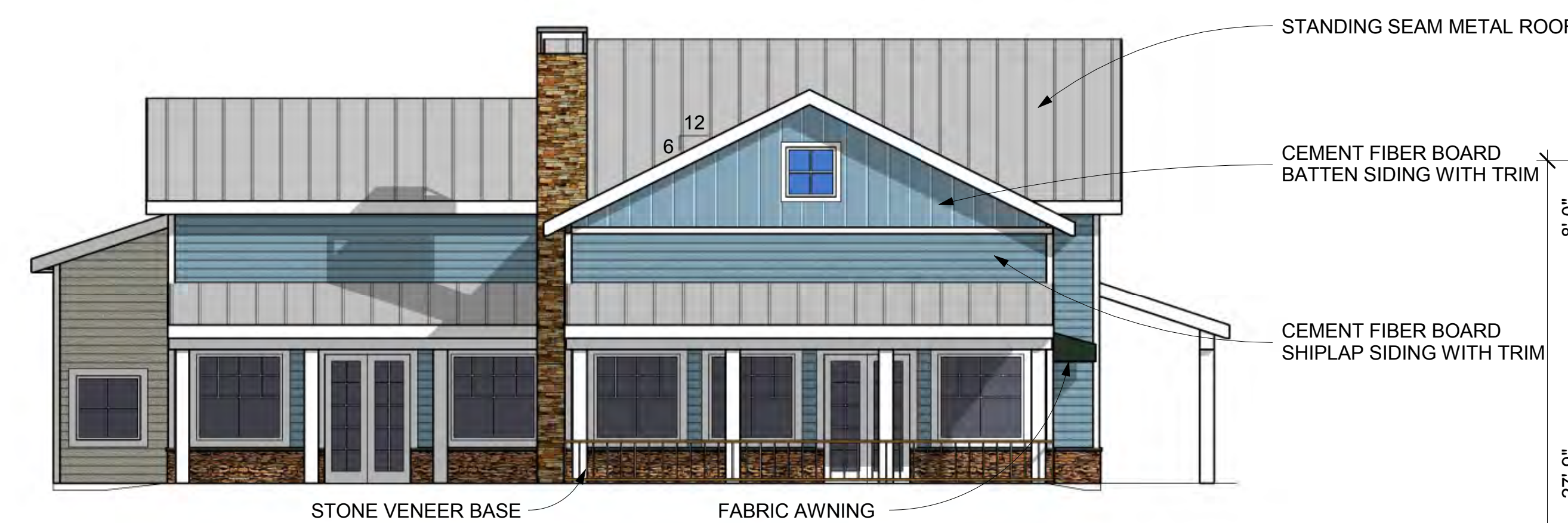
VIEW FROM NORTHWEST 9



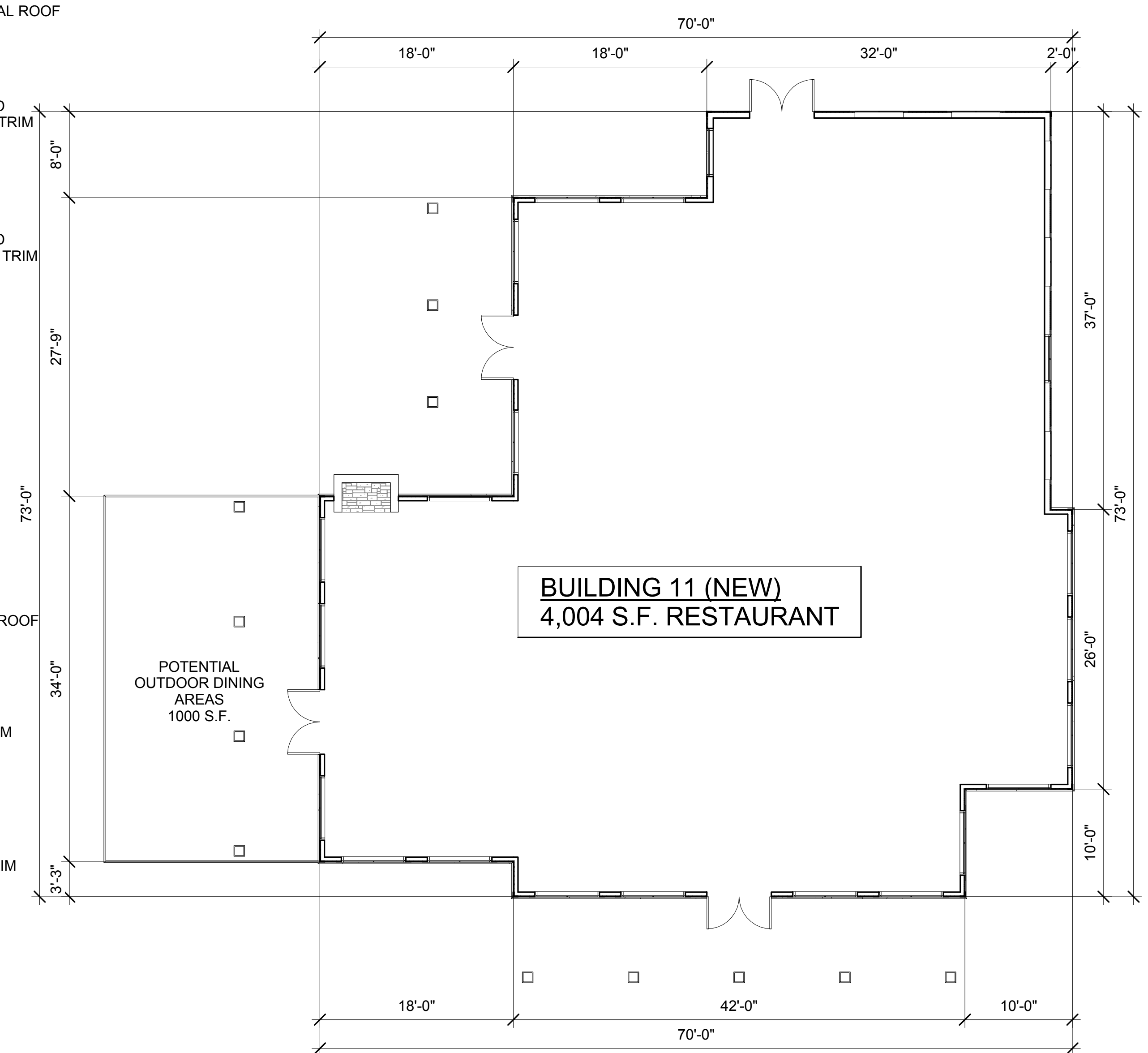
EAST ELEVATION 1/8" = 1'-0" 5



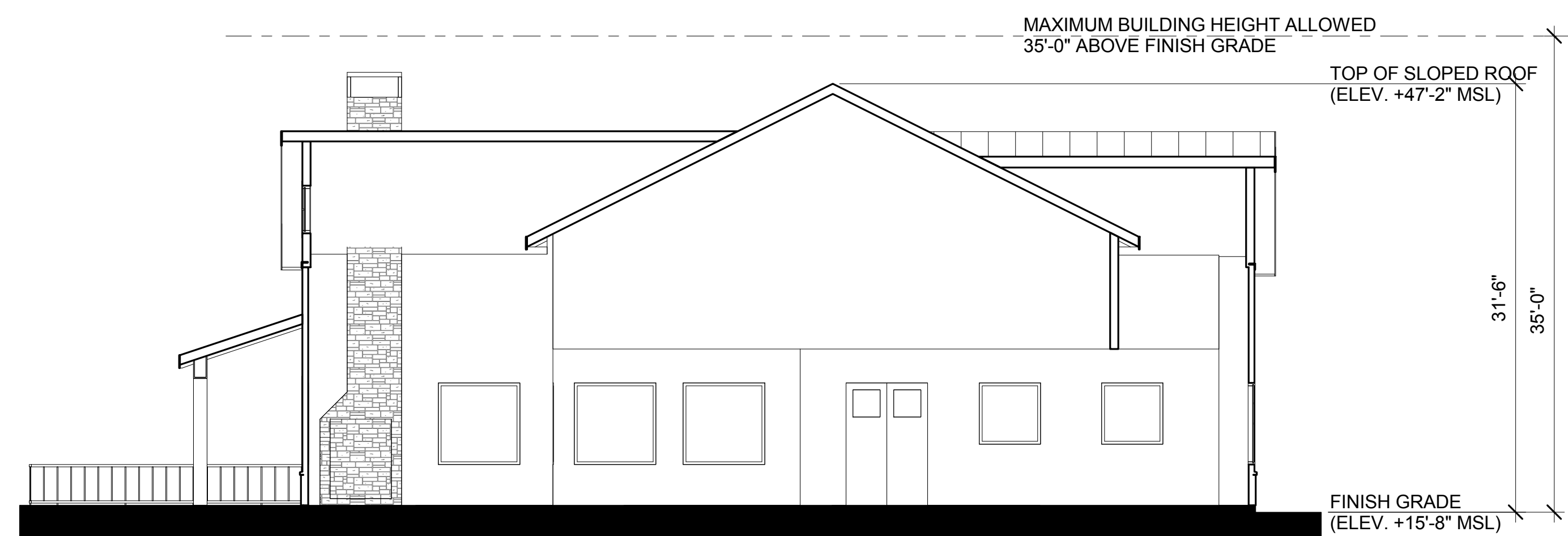
BUILDING 11 MECH. WELL SECTION 1/8" = 1'-0" 8



WEST ELEVATION 1/8" = 1'-0" 4

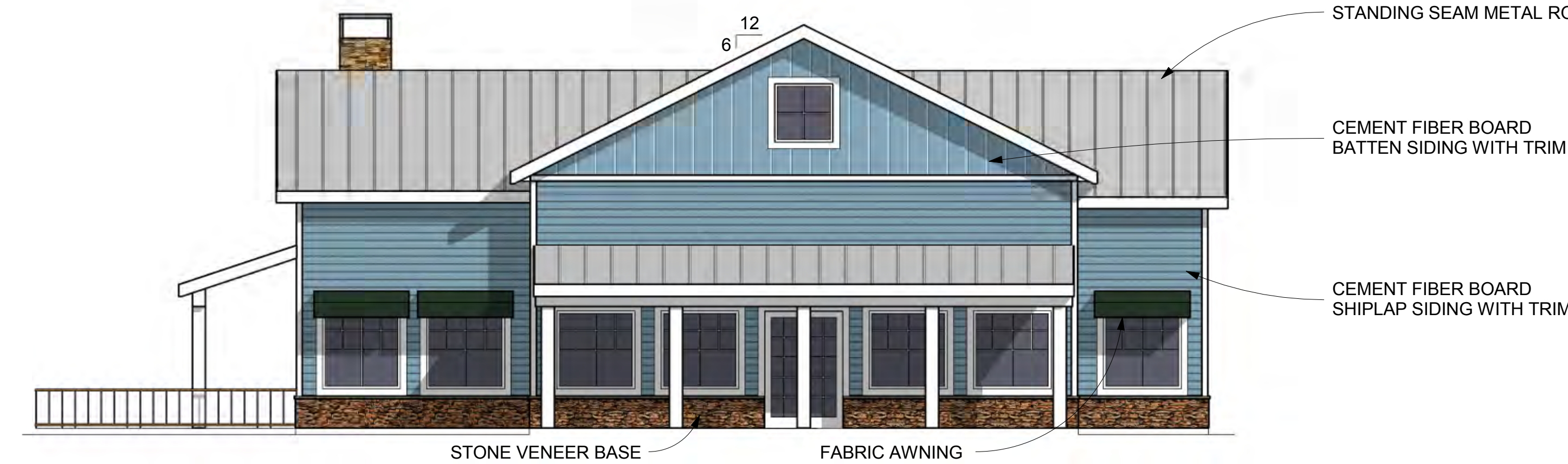


LEVEL ONE PLAN 1/8" = 1'-0" 1



EXISTING GRADE: 13'-0" TO 14'-6" ABOVE MEAN SEA LEVEL
 NEW PAD ELEVATION: 15'-2" ABOVE MEAN SEA LEVEL
 NEW FINISH FLOOR ELEVATION: 16'-2" ABOVE MEAN SEA LEVEL
 PROPOSED MAXIMUM BUILDING HEIGHT: 31'-6"

BUILDING 11 SECTION 1/8" = 1'-0" 7



SOUTH ELEVATION 1/8" = 1'-0" 3



| | |
|------------|--------------|
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| DATE: | 12-20-13 |
| PROJECT #: | 2011-40140 |
| SCALE: | 1/8" = 1'-0" |

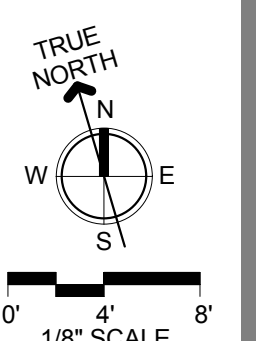
NORTH
 SHEET #: A-18

**BUILDING 11
 PLANS AND
 ELEVATIONS**

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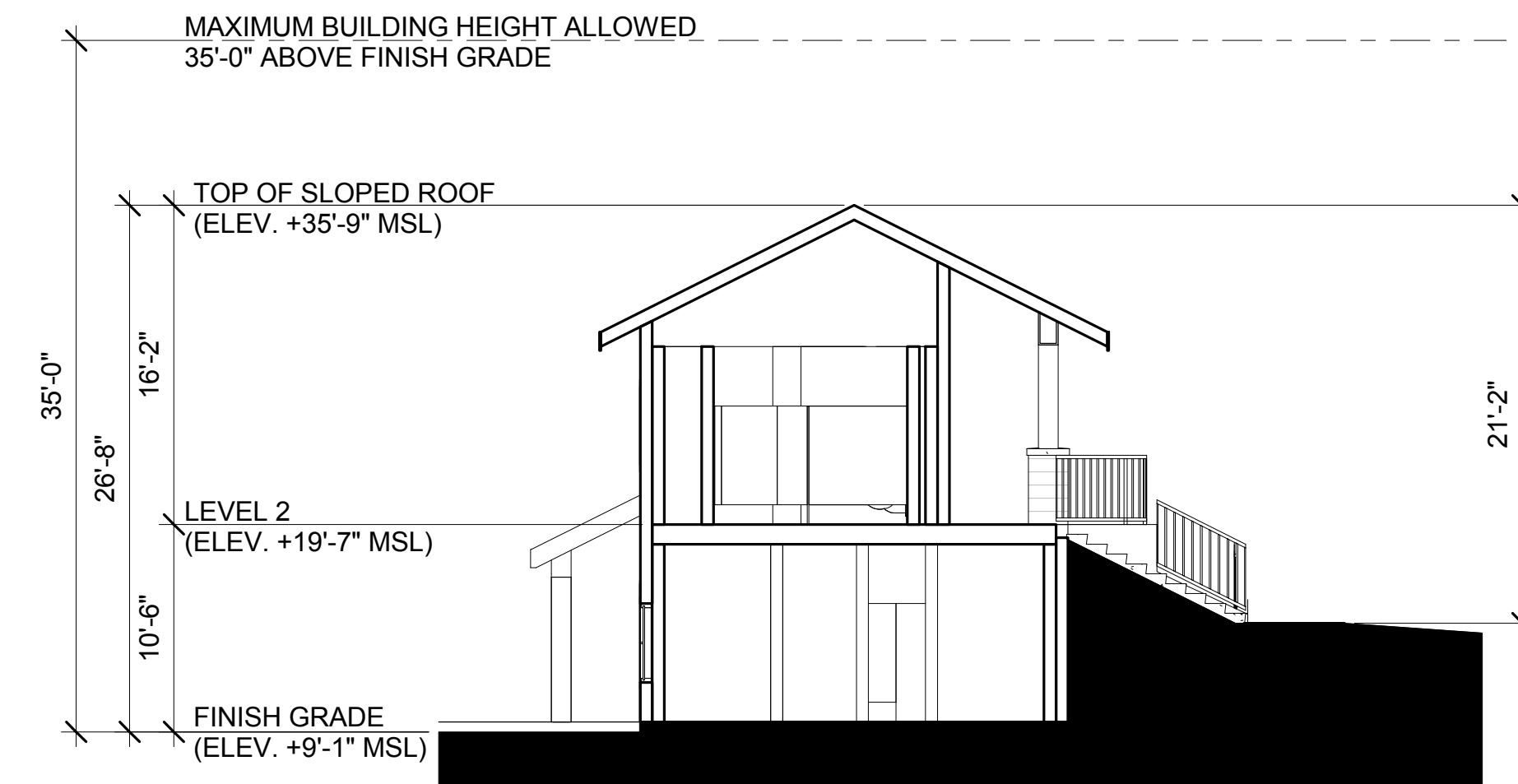
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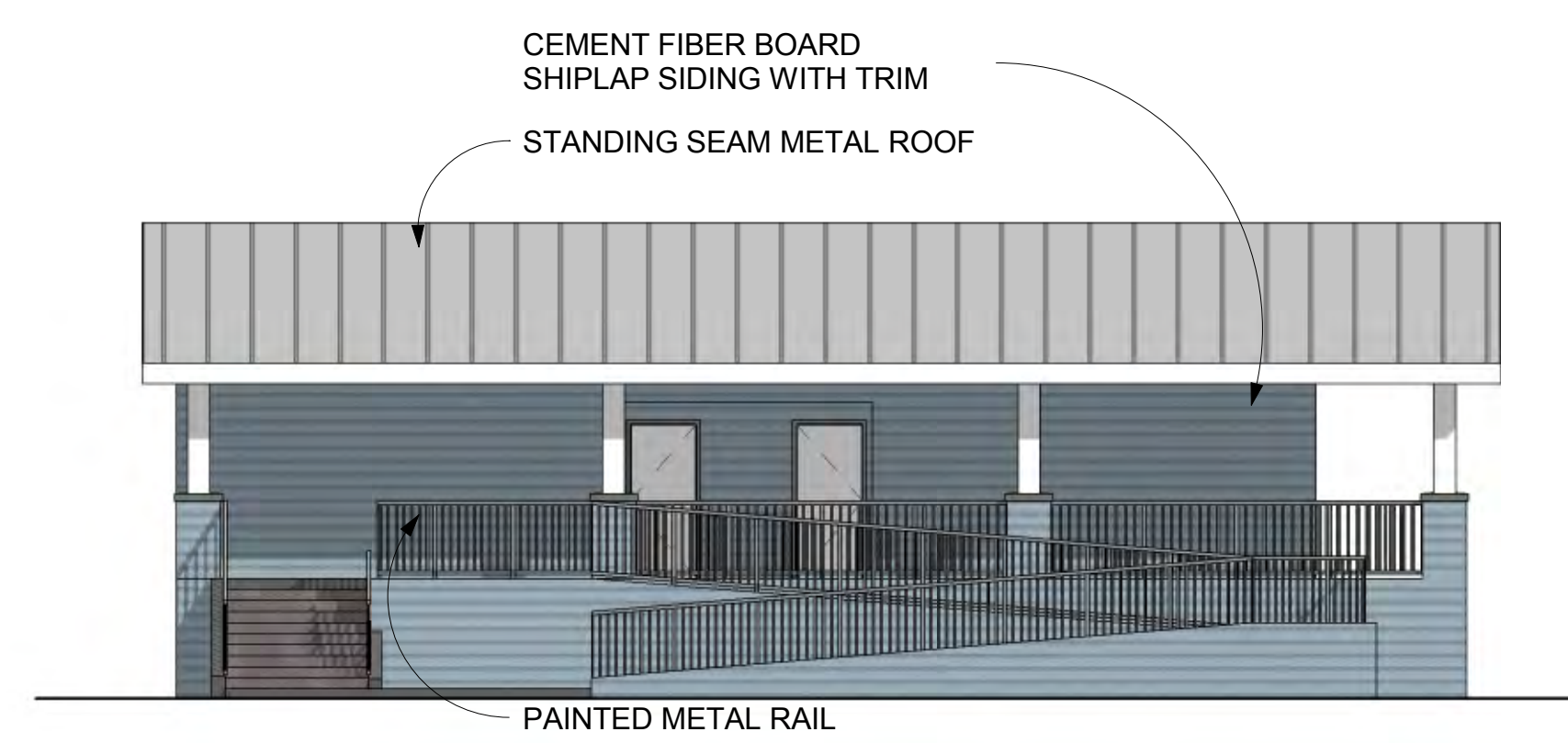


VIEW FROM NORTHWEST 8

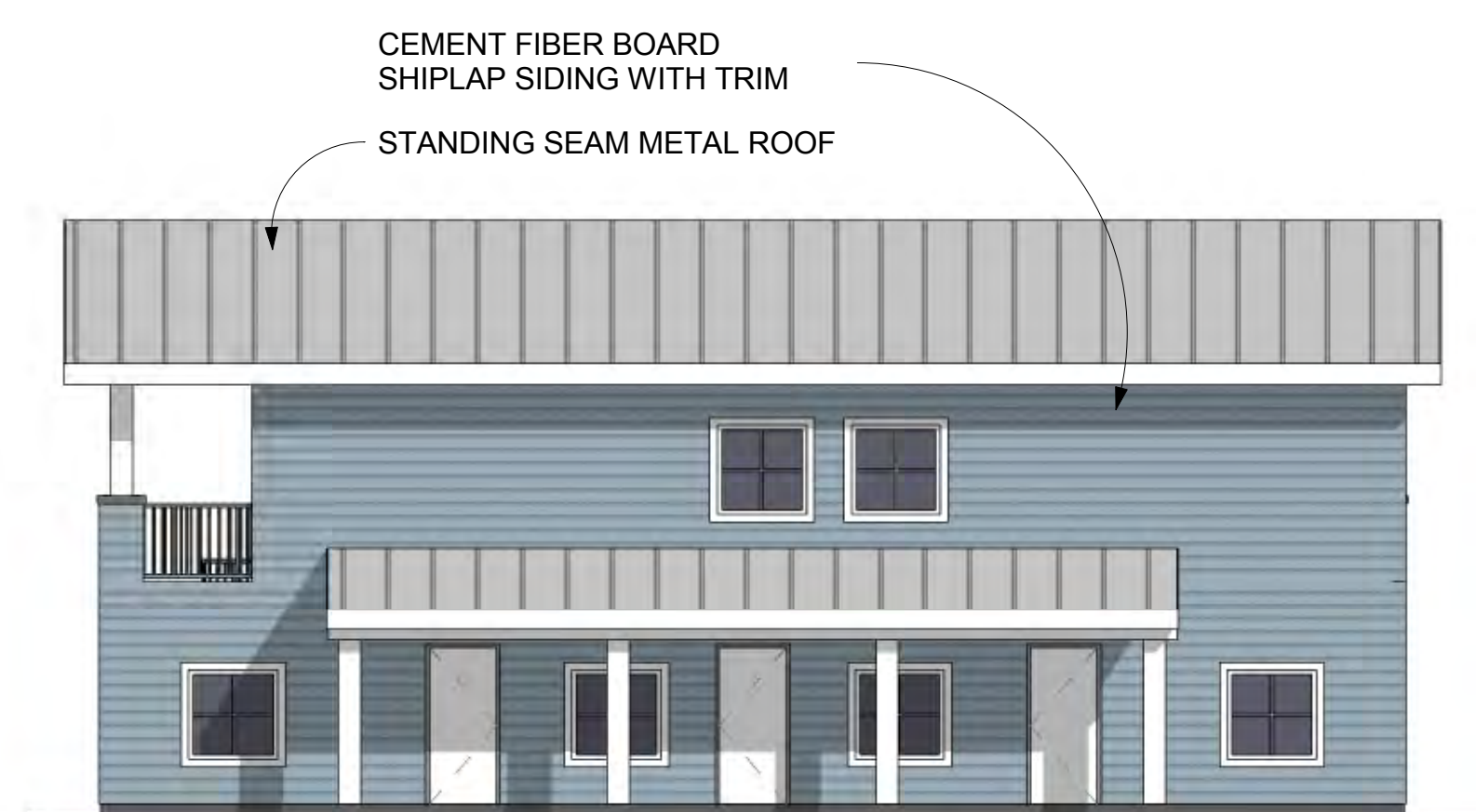


EXISTING GRADE: 9'-6" TO 15'-0" ABOVE MEAN SEA LEVEL
 NEW PAD ELEVATION: 8'-7" ABOVE MEAN SEA LEVEL
 NEW FINISH FLOOR ELEVATION: 9'-7" ABOVE MEAN SEA LEVEL
 PROPOSED MAXIMUM BUILDING HEIGHT: 26'-8"

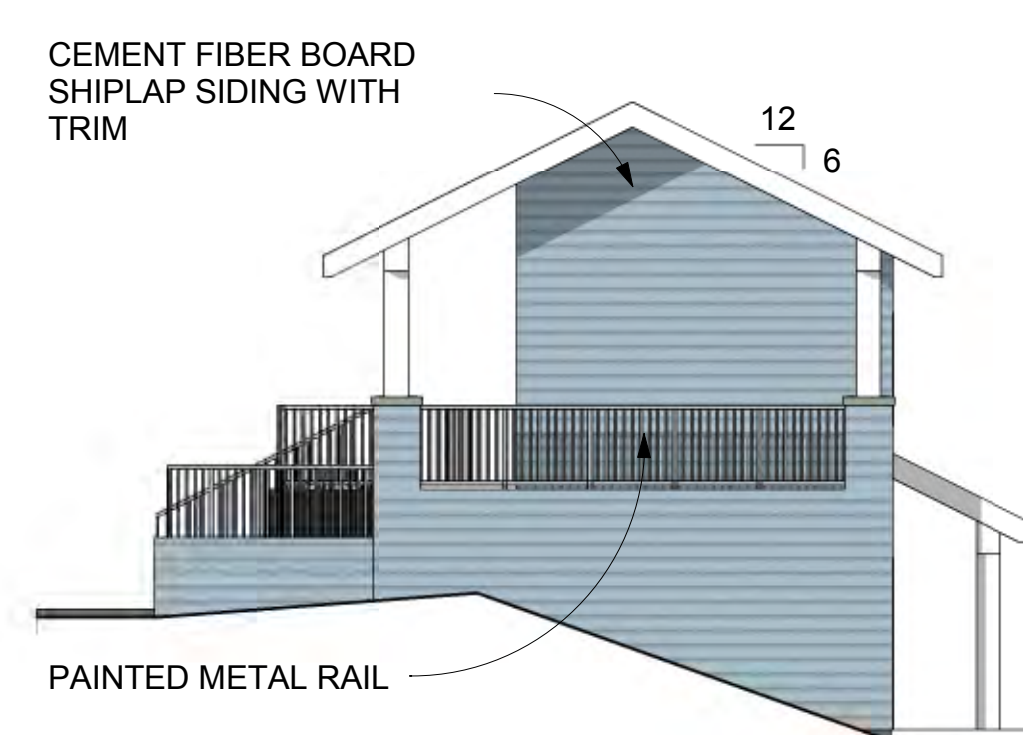
BUILDING SECTION 1/8" = 1'-0" 4



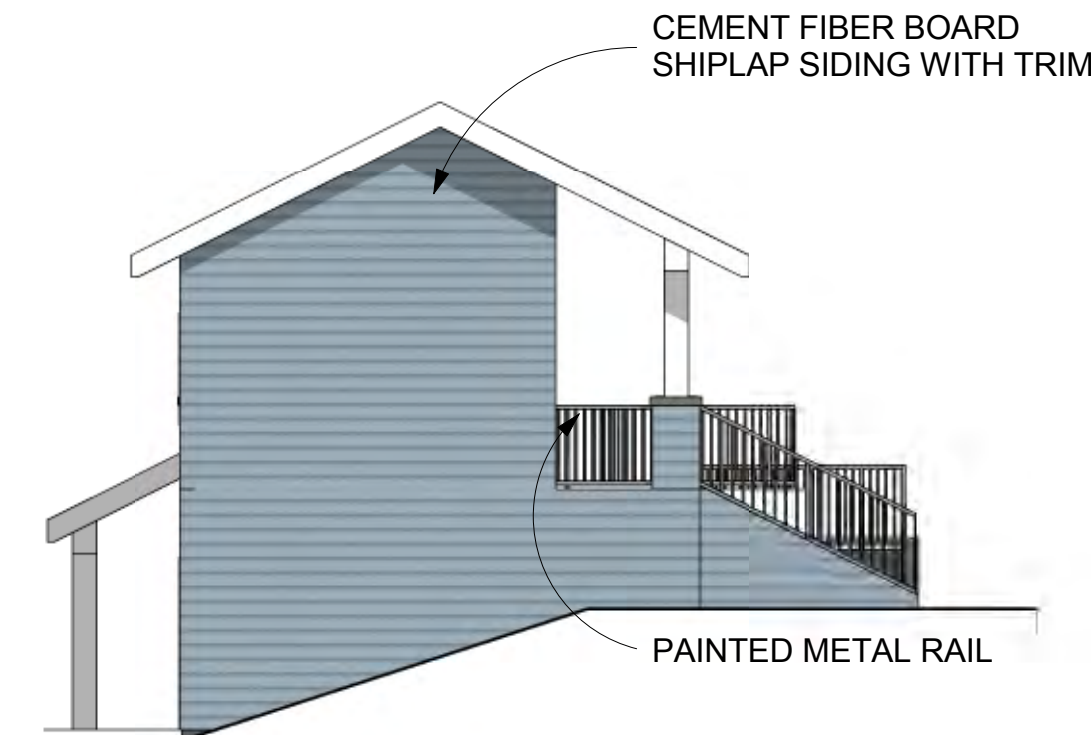
NORTH ELEVATION 1/8" = 1'-0" 7



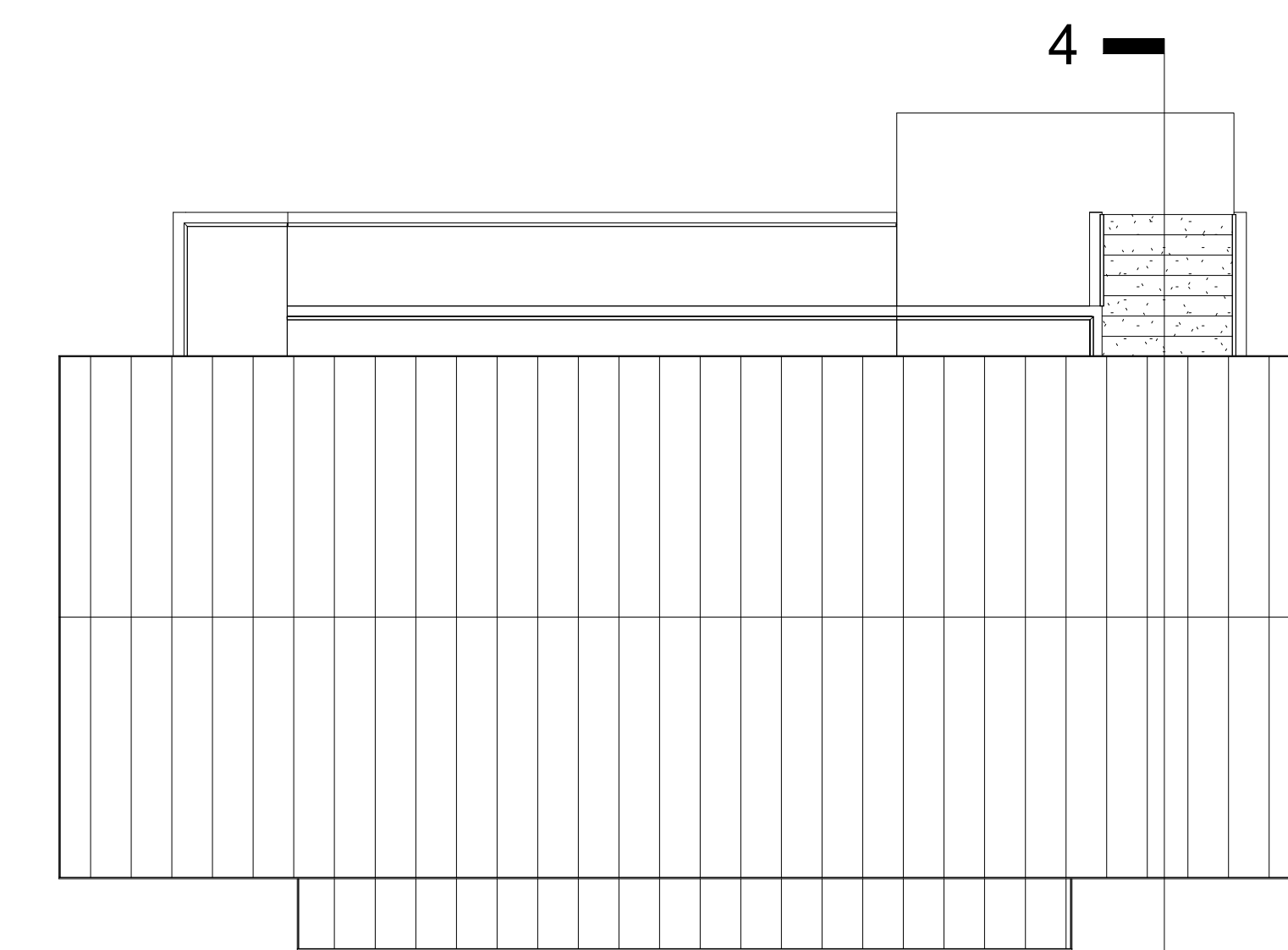
SOUTH ELEVATION 1/8" = 1'-0" 6



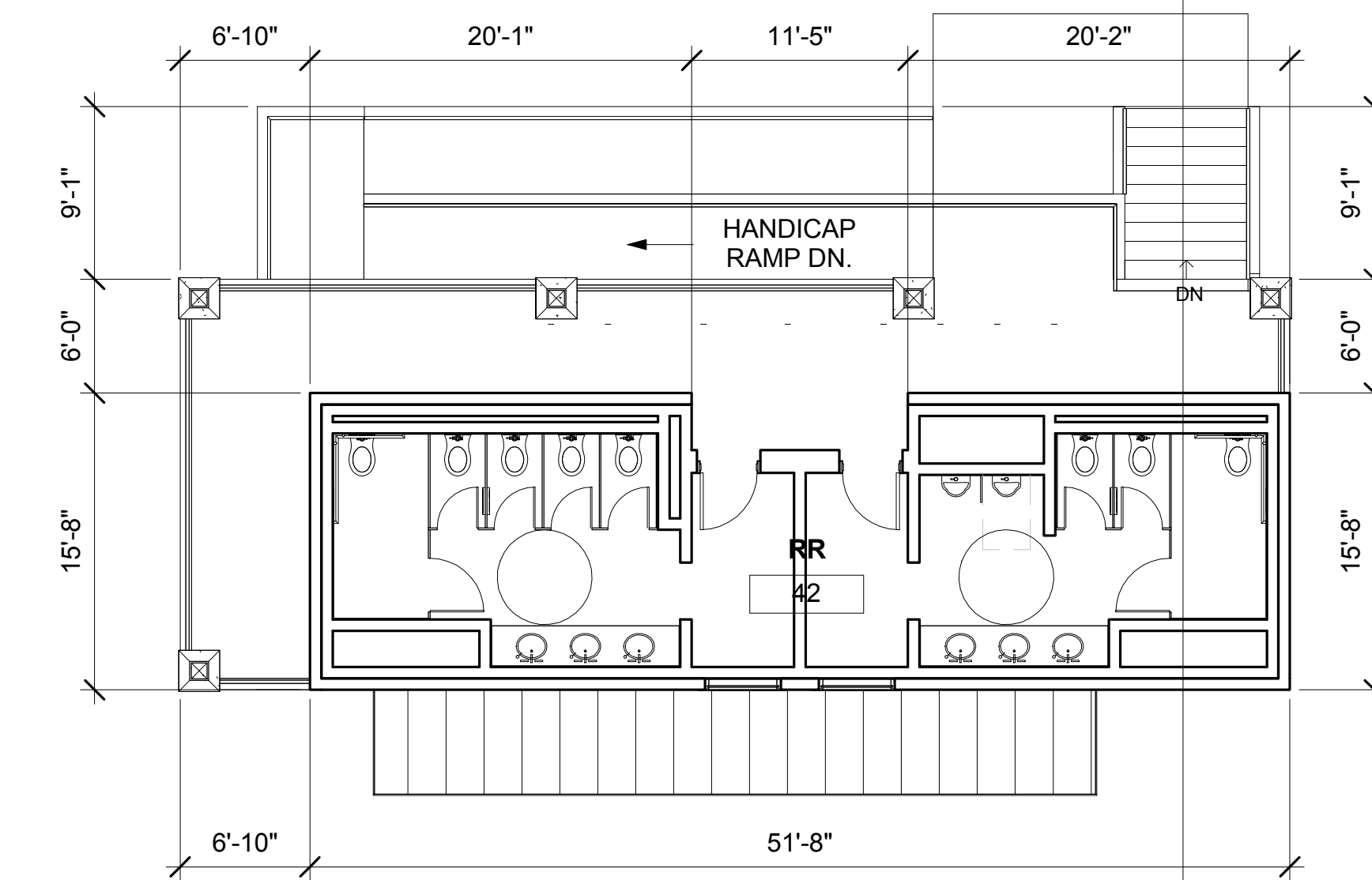
WEST ELEVATION 1/8" = 1'-0" 9



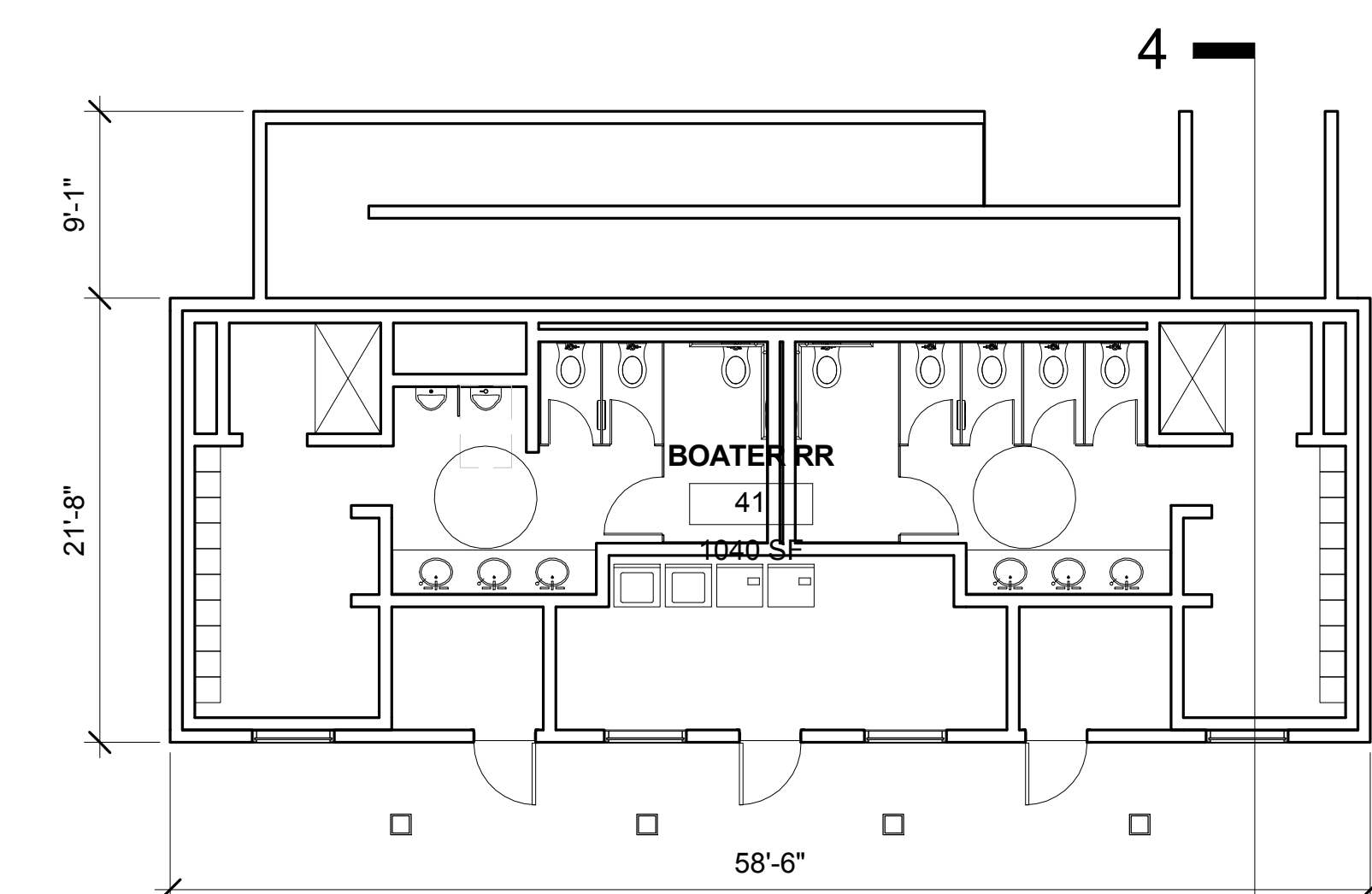
EAST ELEVATION 1/8" = 1'-0" 5



Level Roof 1/8" = 1'-0" 3



LEVEL 2 PLAN 1/8" = 1'-0" 2



LEVEL 1 PLAN 1/8" = 1'-0" 1

DANA POINT HARBOR REVITALIZATION
 COMMERCIAL CORE PROJECT

COUNTY OF ORANGE
 DANA POINT HARBOR DRIVE
 DANA POINT, CALIFORNIA



| | |
|------------|--------------|
| REVISED | 3-27-14 |
| DATE: | 12-20-13 |
| PROJECT #: | 2011-40140 |
| SCALE: | 1/8" = 1'-0" |

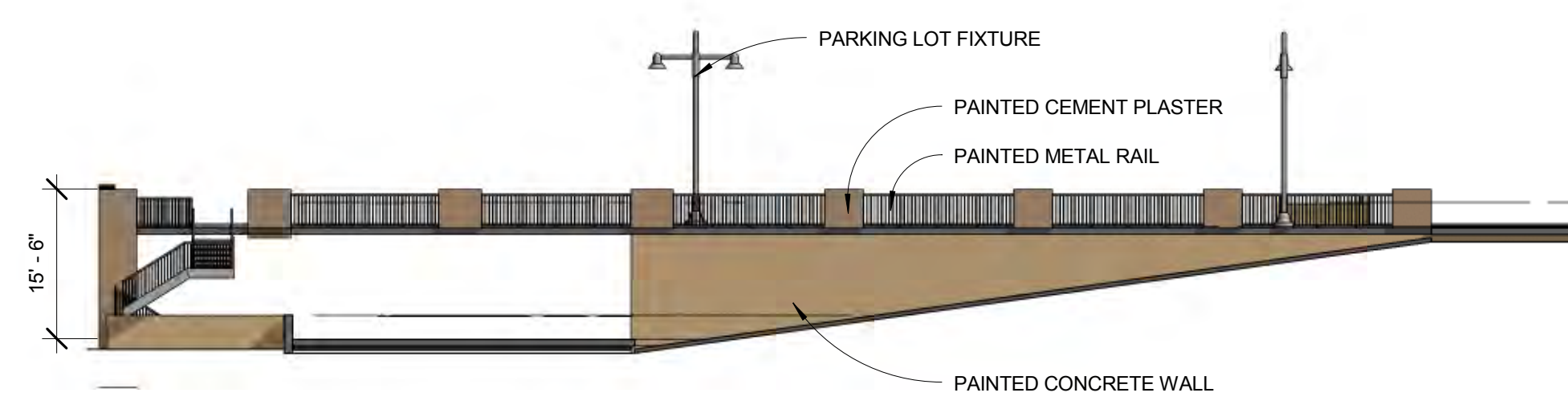
| | | |
|---------------|---|---|
| 0 | 4 | 8 |
| NORTH | | |
| SHEET #: A-19 | | |

BUILDING 12
 PLANS AND
 ELEVATIONS

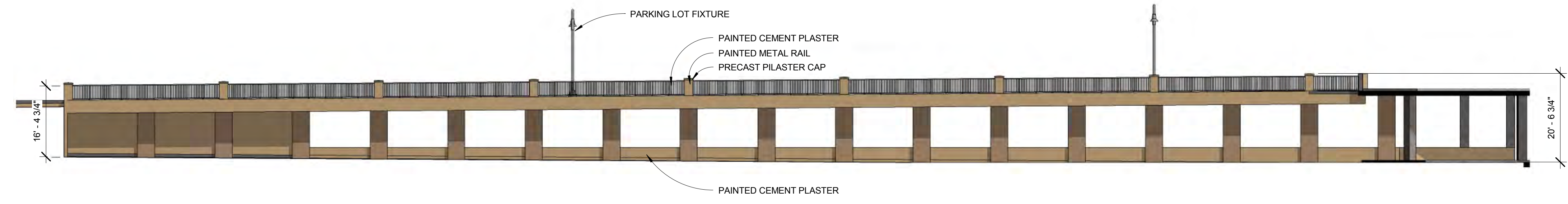
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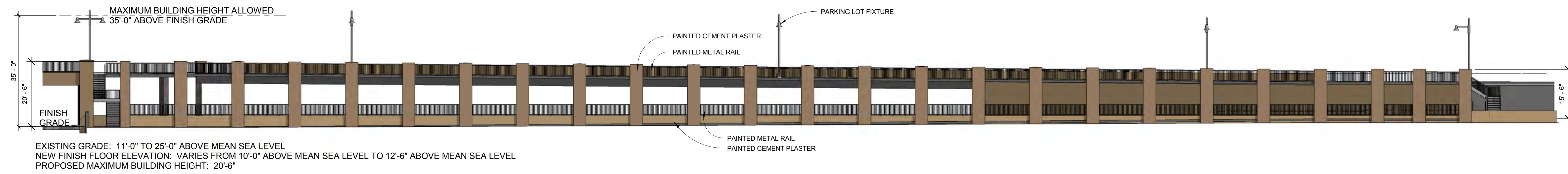
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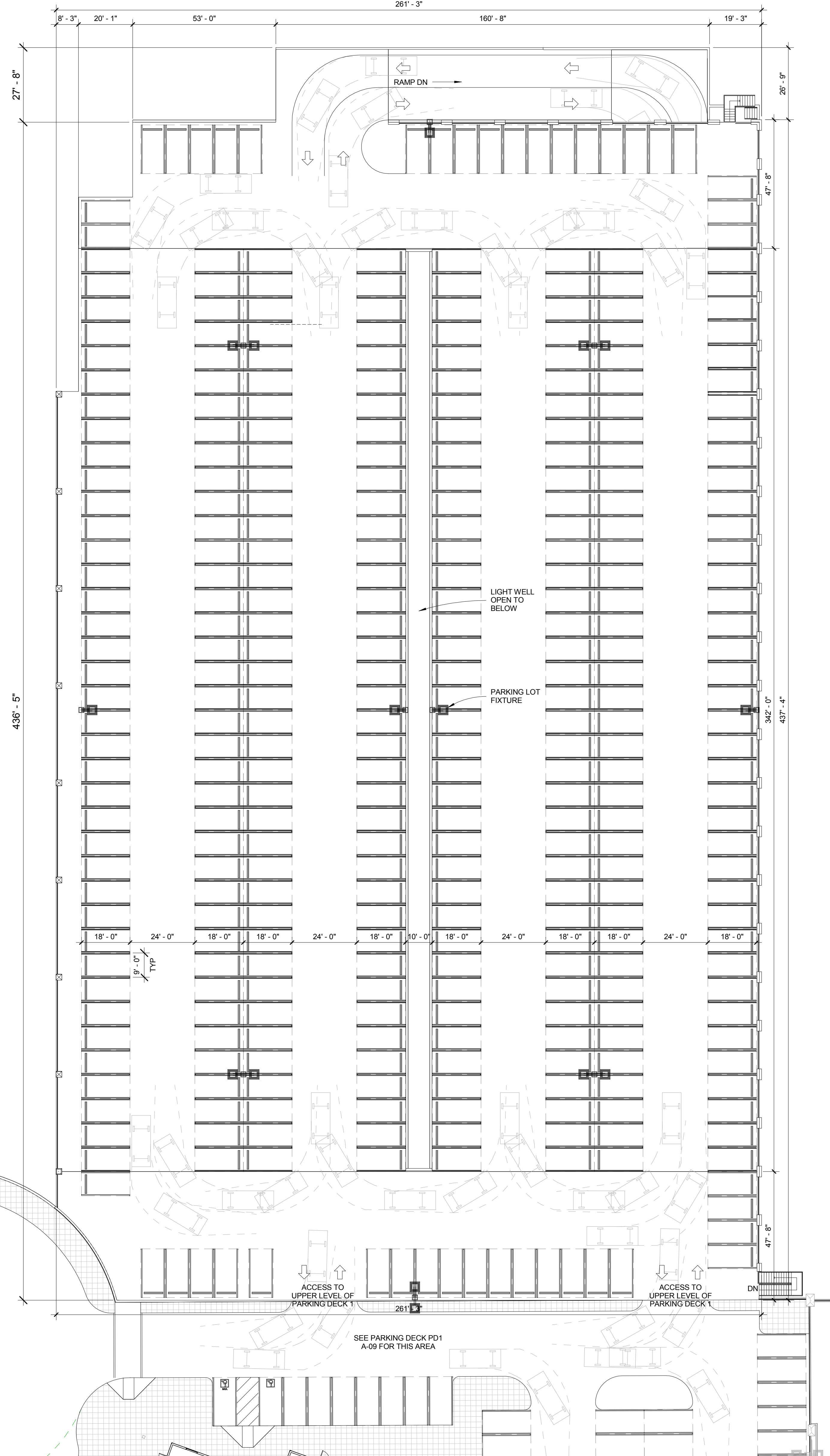
NORTH ELEVATION 1/16" = 1'-0" **5**



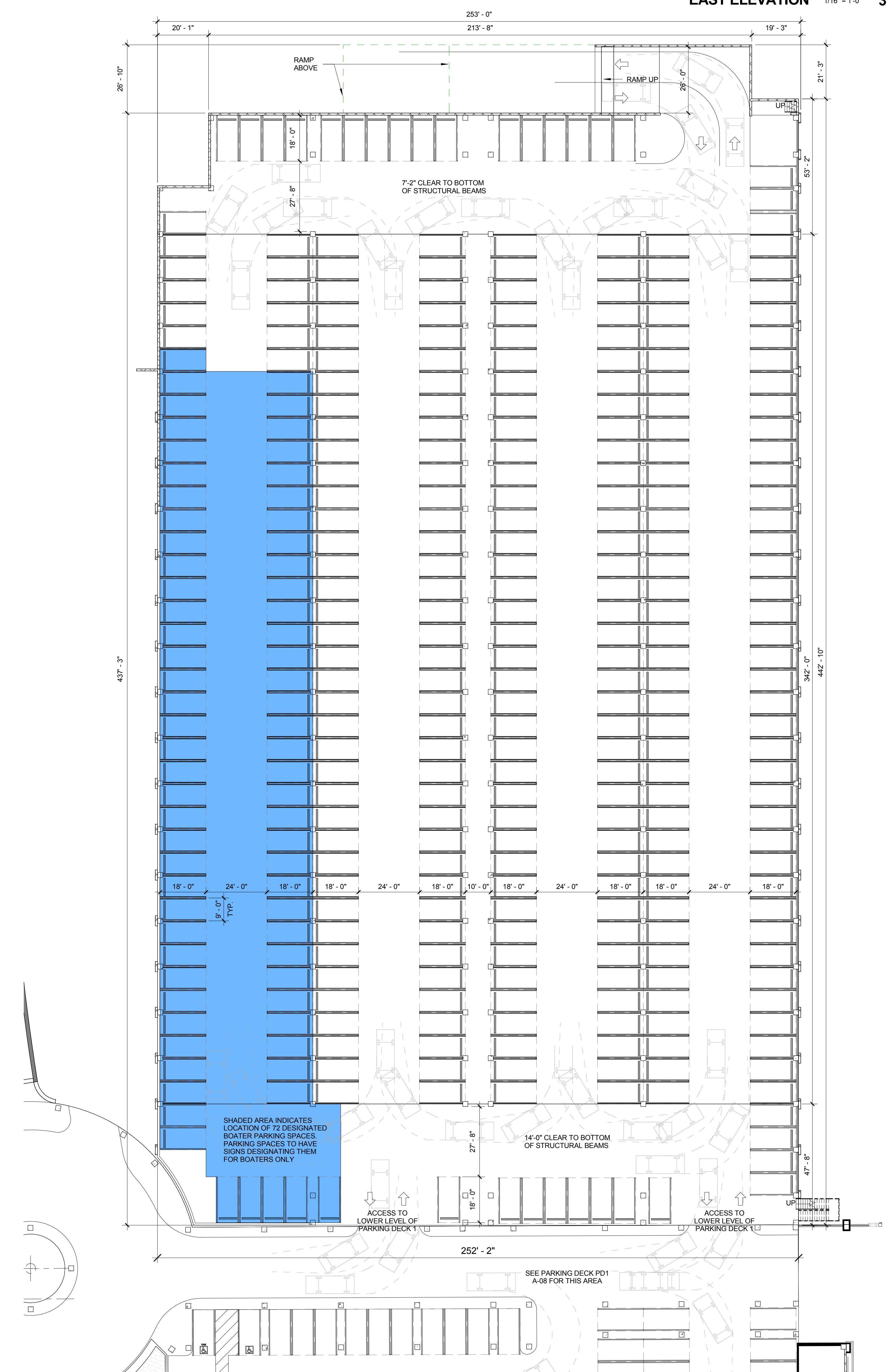
WEST ELEVATION 1/16" = 1'-0" **4**



EAST ELEVATION 1/16" = 1'-0" **3**



LEVEL 2 PLAN 3/64" = 1'-0" **2**



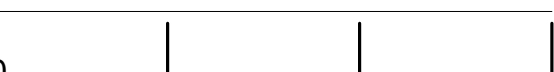
LEVEL 1 PLAN 3/64" = 1'-0" **1**

DANA POINT HARBOR REVITALIZATION

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



REVISED: 3-27-14
DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: As indicated



NORTH
SHEET #: A-20

PARKING DECK PD 2 PLANS AND ELEVATIONS

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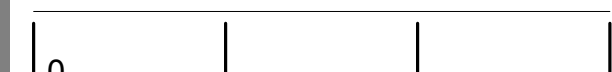
**DANA POINT HARBOR REVITALIZATION DRY STACK
BOAT STORAGE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



**DRY
STACK
BOAT
STORAGE
BUILDING**

REVISED: 3-27-14
DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/16" = 1'-0"



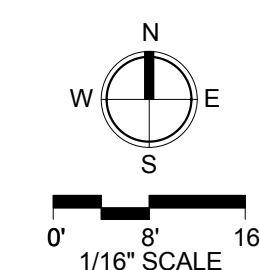
NORTH
SHEET #: A-21

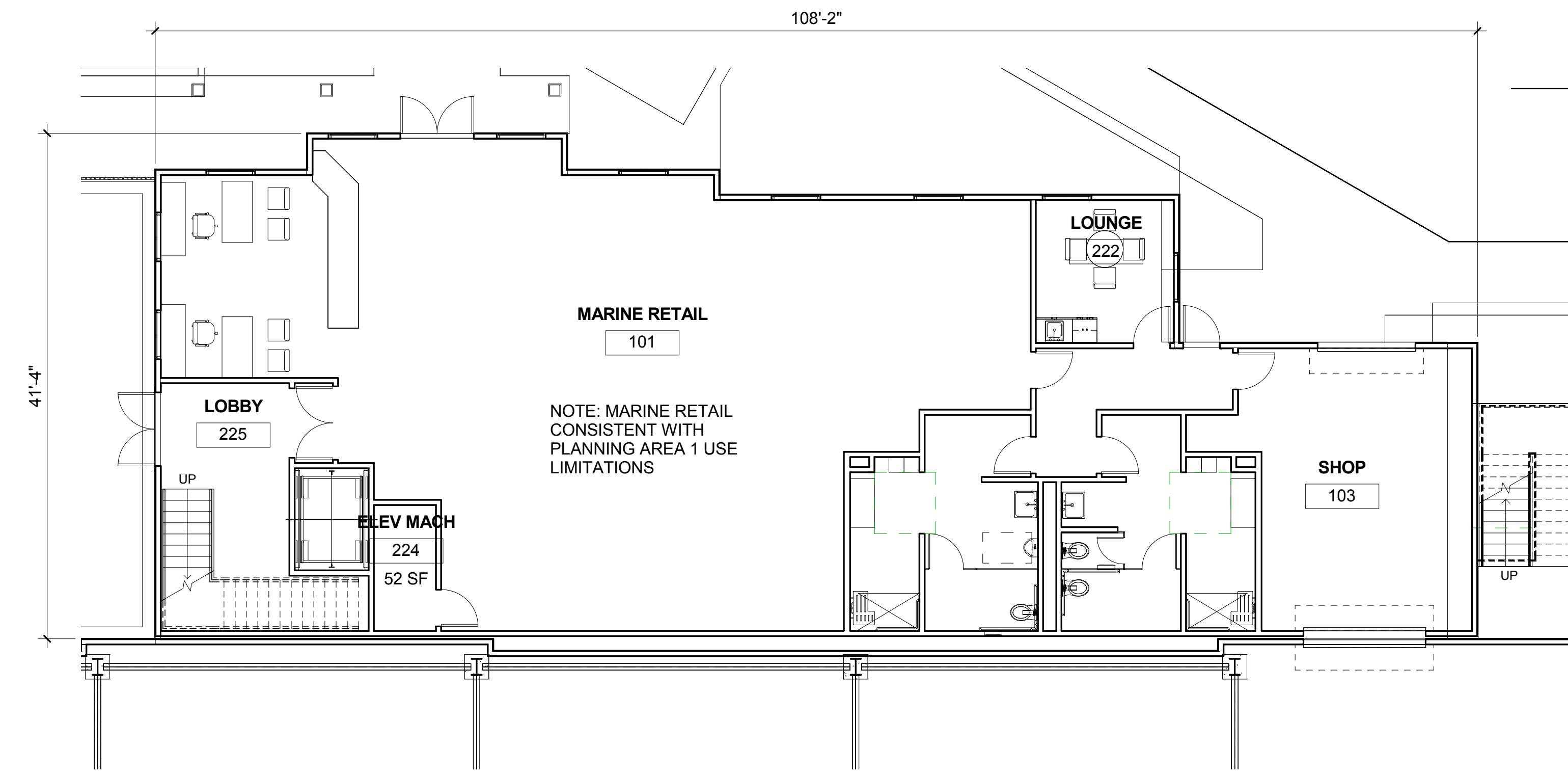
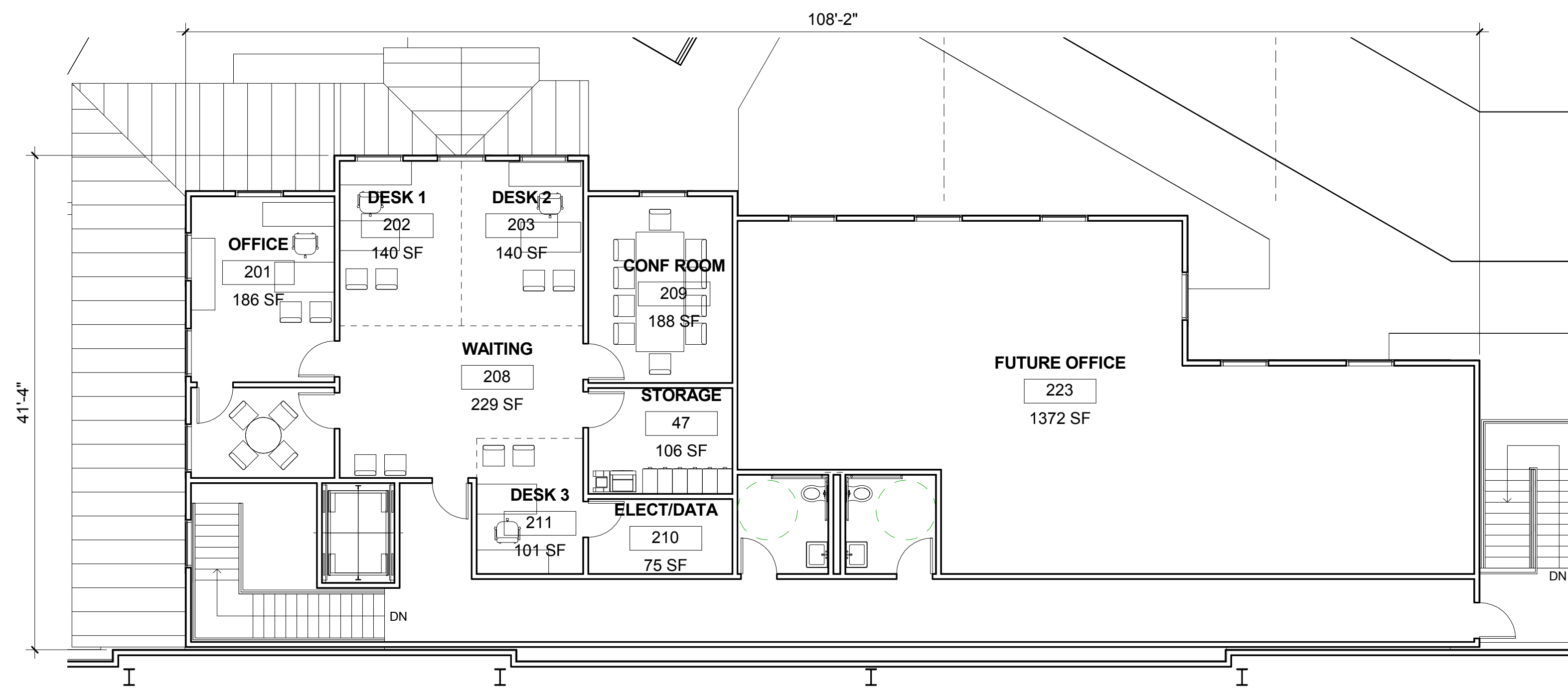
**DOCK
LAYOUTS**

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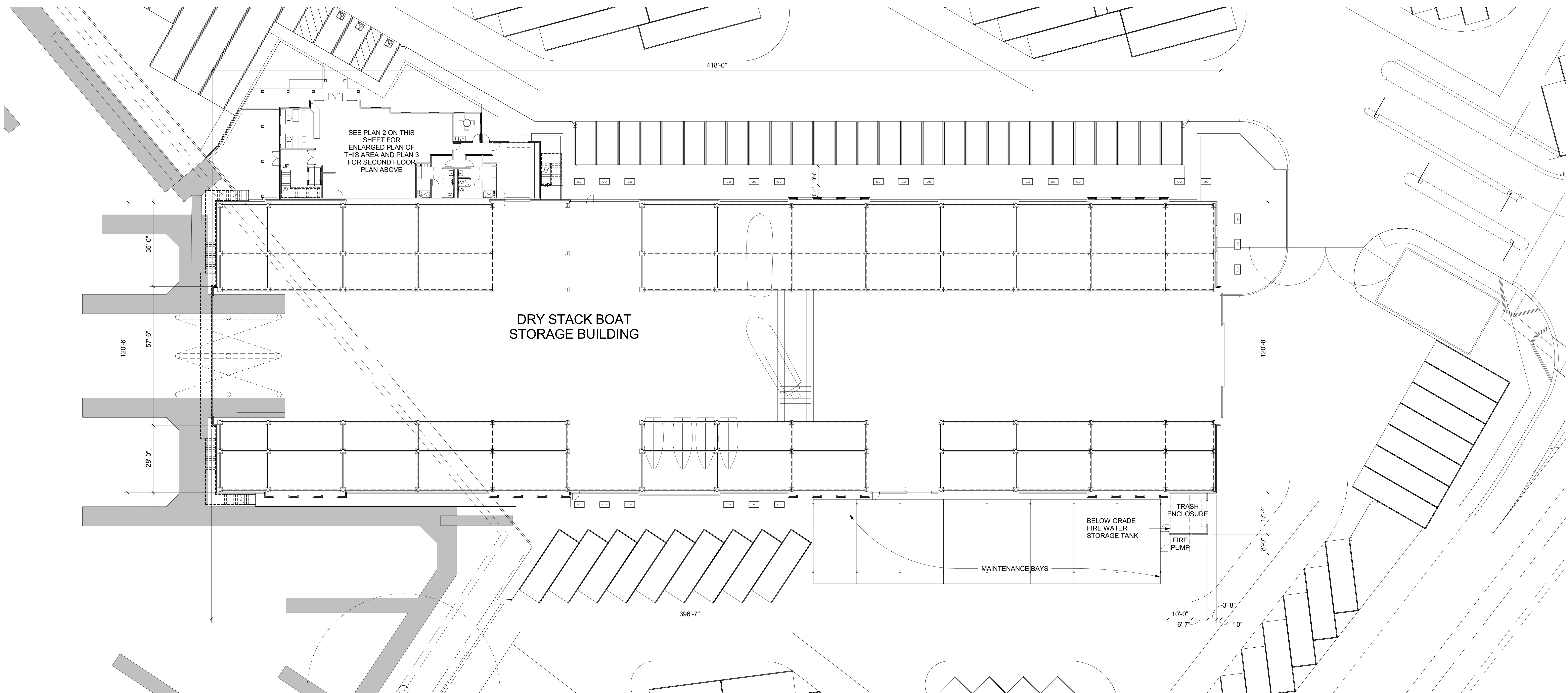
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www.mve-institutional.com





LEVEL 2 ENLARGED PLAN 1/8" = 1'-0" 3

LEVEL 1 ENLARGED PLAN 1/8" = 1'-0" 2



LEVEL 1 PLAN 1/8" = 1'-0" 1

DANA POINT HARBOR REVITALIZATION DRY STACK BOAT STORAGE PROJECT

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



DRY STACK BOAT STORAGE BUILDING

REVISED 3-27-14
DATE 12-20-13
PROJECT # 2011-40140
SCALE As indicated



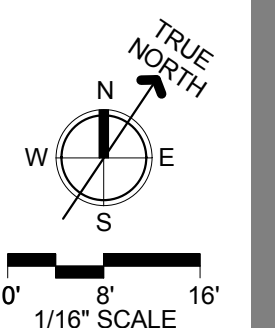
NORTH
SHEET # A-22

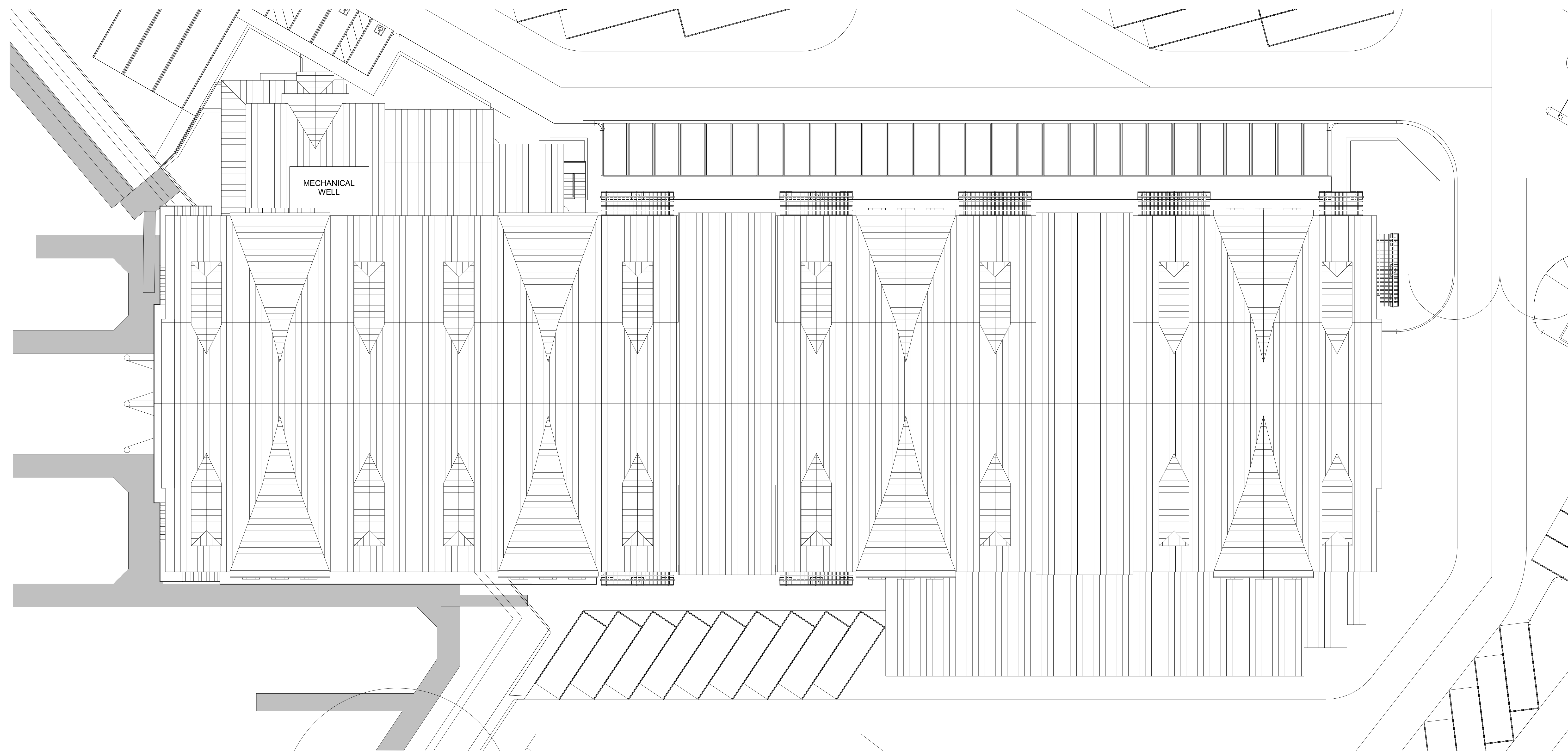
LEVEL ONE
LEVEL TWO

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Level Roof 1/16" = 1'-0" 1

**DANA POINT HARBOR REVITALIZATION DRY STACK
BOAT STORAGE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



**DRY
STACK
BOAT
STORAGE
BUILDING**

REVISED: 3-27-14
DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/16" = 1'-0"



NORTH
SHEET #: A-23

LEVEL ROOF

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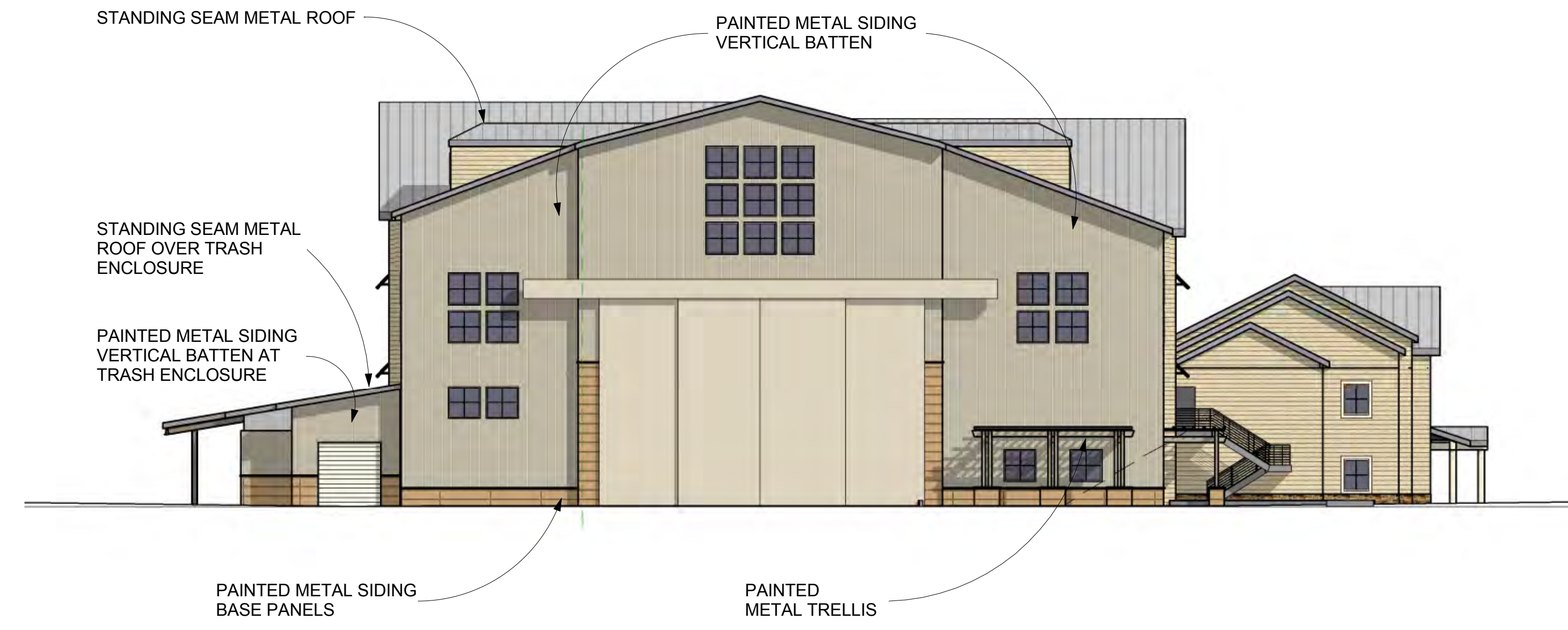
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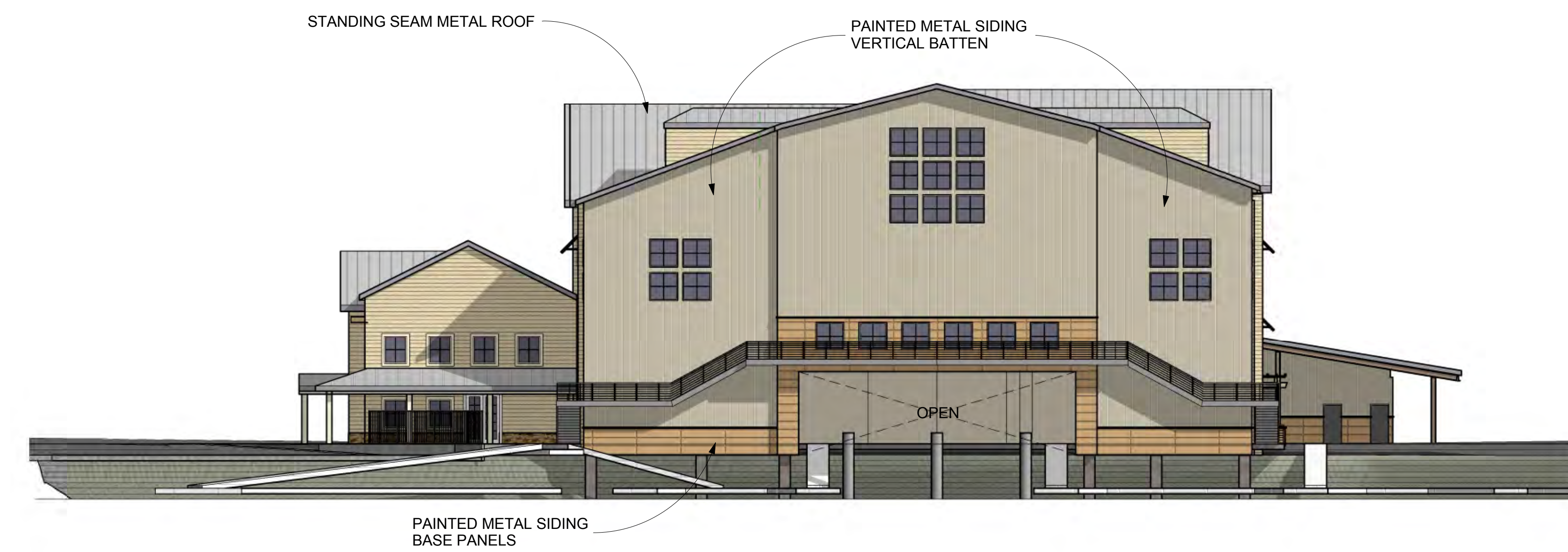
VIEW FROM NORTHEAST 6



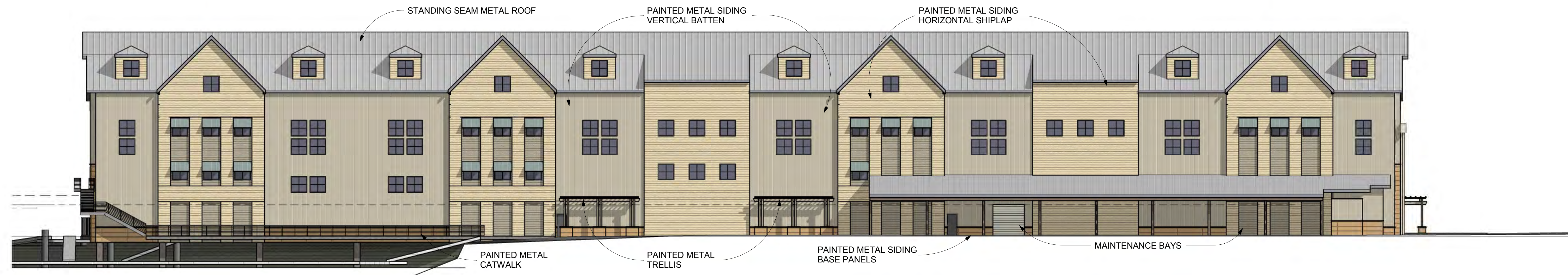
VIEW FROM SOUTHWEST 5



EAST ELEVATION 1/16" = 1'-0" 4



WEST ELEVATION 1/16" = 1'-0" 3



SOUTH ELEVATION 1/16" = 1'-0" 2



NORTH ELEVATION 1/16" = 1'-0" 1

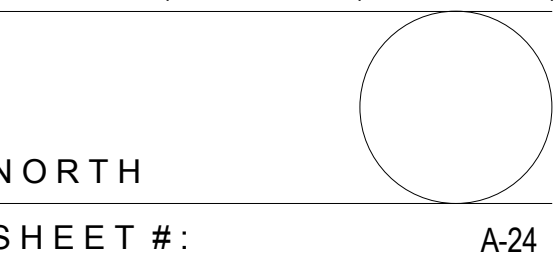
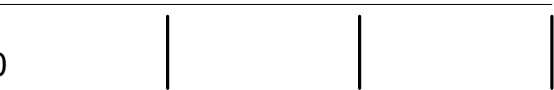
DANA POINT HARBOR REVITALIZATION DRY STACK BOAT STORAGE PROJECT

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



DRY STACK BOAT STORAGE BUILDING

REVISED: 3-27-14
DATE: 12-20-13
PROJECT #: 2011-40140
SCALE: 1/16" = 1'-0"

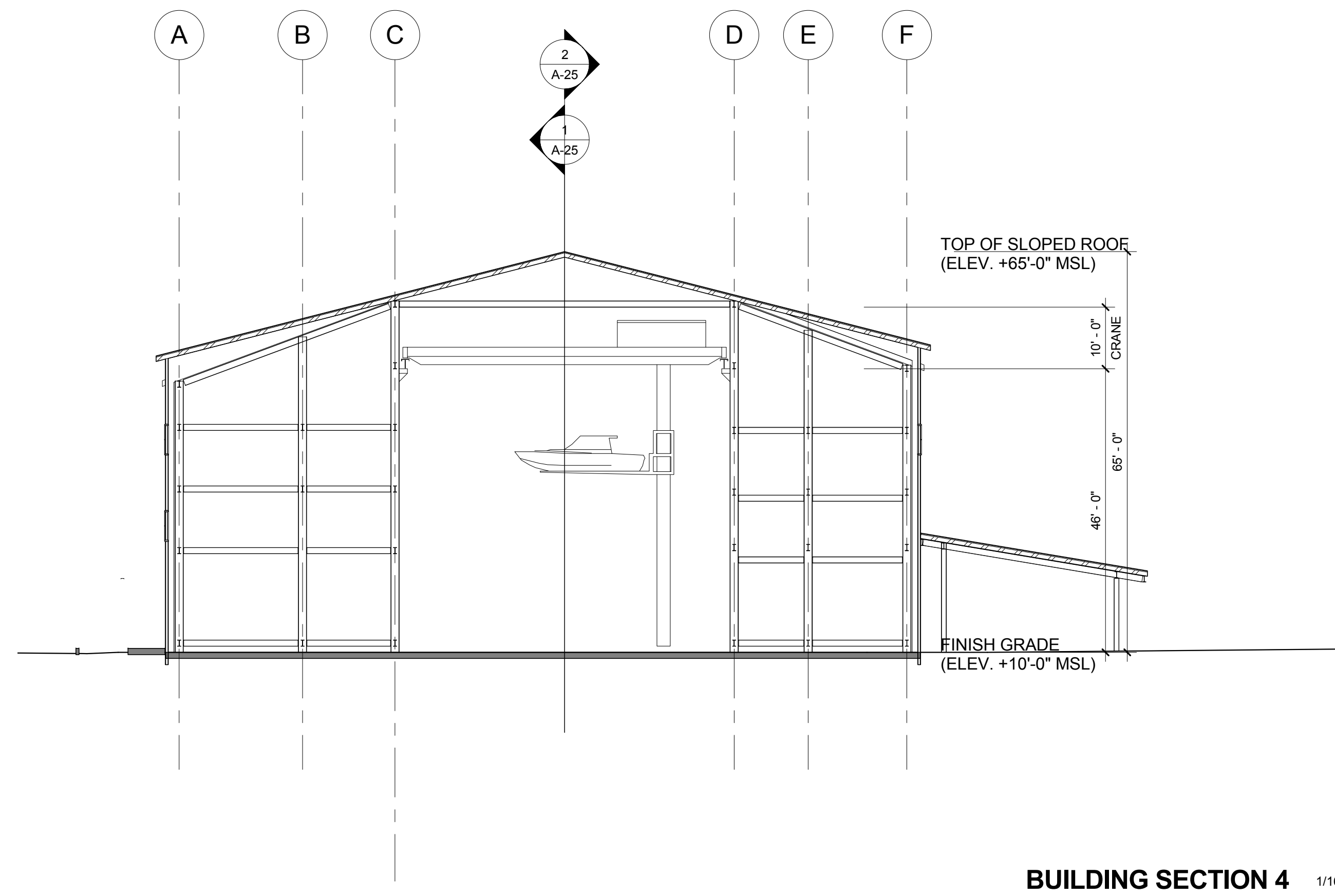


ELEVATIONS

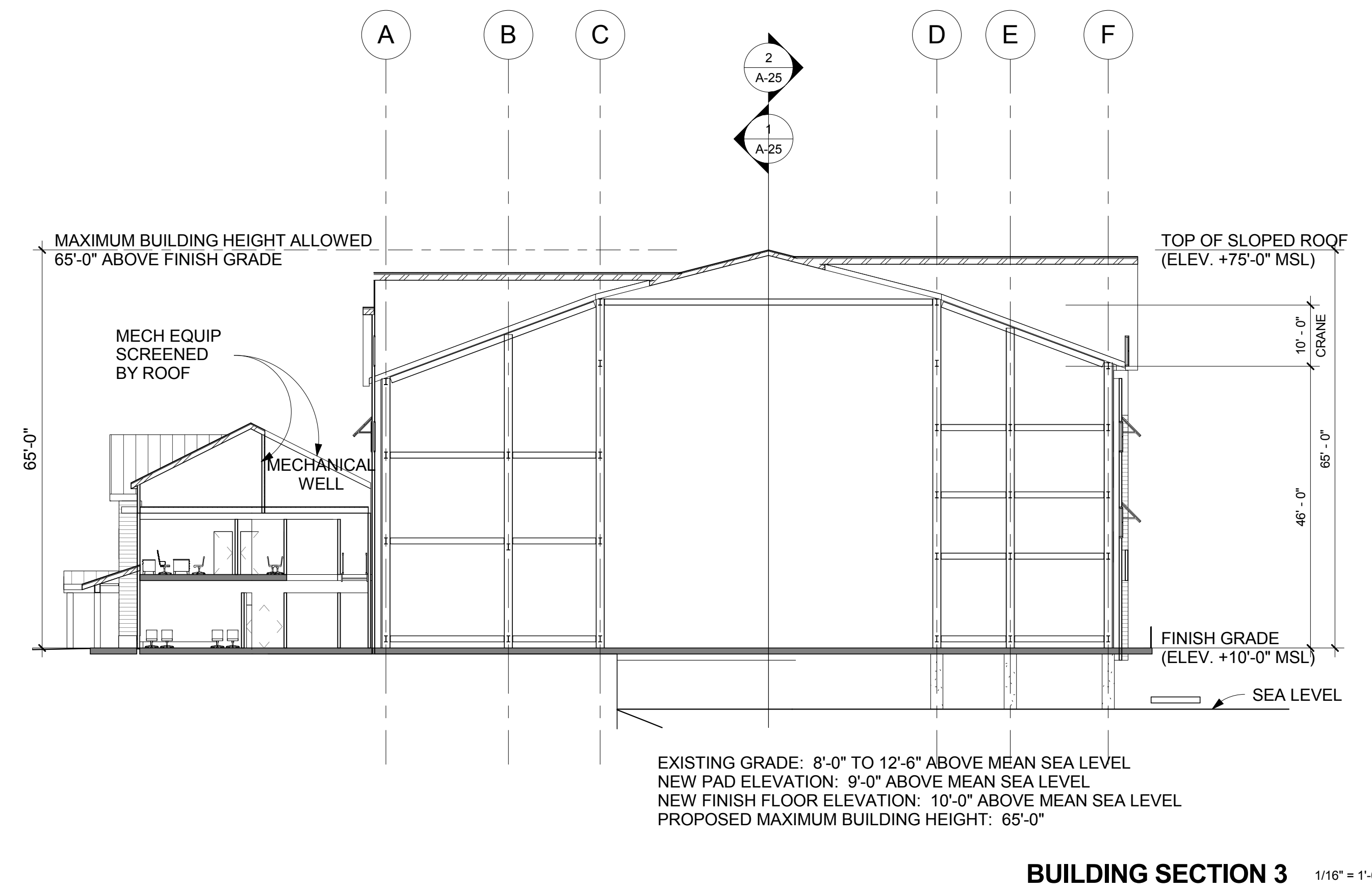
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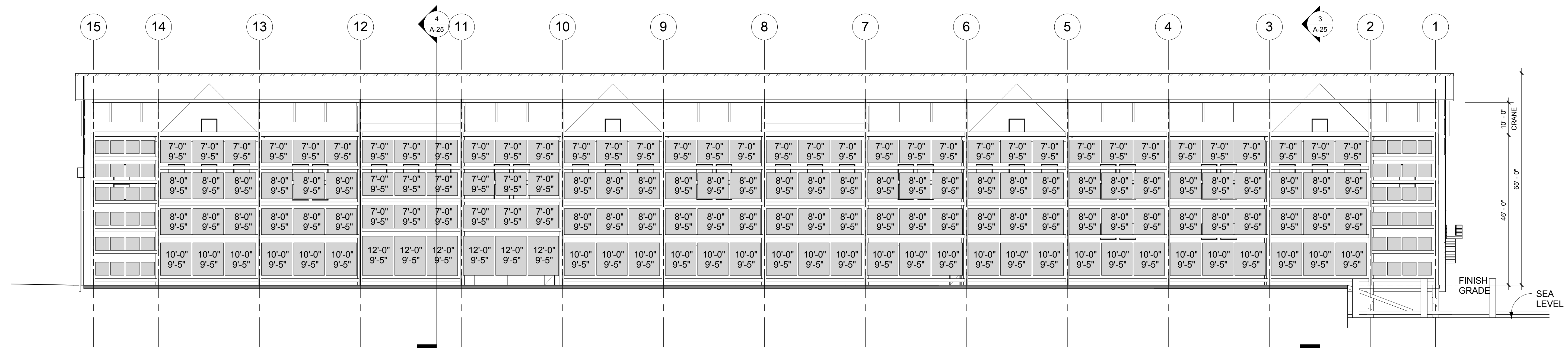
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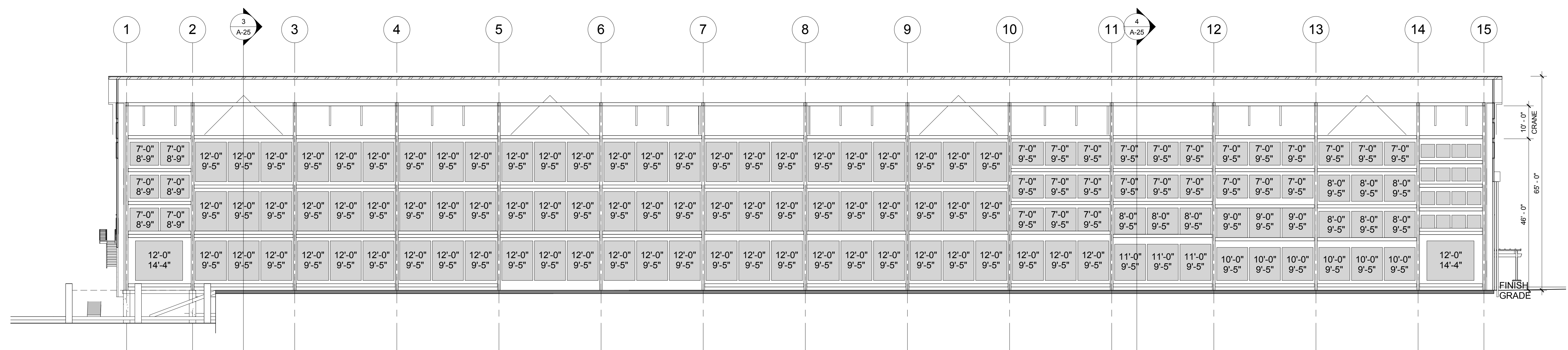
BUILDING SECTION 4 1/16" = 1'-0" 4



BUILDING SECTION 3 1/16" = 1'-0" 3



BUILDING SECTION 2 1/16" = 1'-0" 2



BUILDING SECTION 1 1/16" = 1'-0" 1

DANA POINT HARBOR REVITALIZATION DRY STACK BOAT STORAGE PROJECT
 COUNTY OF ORANGE
 DANA POINT HARBOR DRIVE
 DANA POINT, CALIFORNIA



PROJECT DIMENSIONS™

DRY STACK BOAT STORAGE BUILDING

REVISED: 3-27-14
 DATE: 12-20-13
 PROJECT #: 2011-40140
 SCALE: 1/16" = 1'-0"

0
 NORTH
 SHEET #: A-25

BUILDING SECTIONS

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**DANA POINT HARBOR REVITALIZATION
COMMERCIAL CORE PROJECT**

COUNTY OF ORANGE
DANA POINT HARBOR DRIVE
DANA POINT, CALIFORNIA



DATE: 02-28-14
PROJECT #: 2011-40140
SCALE: As indicated

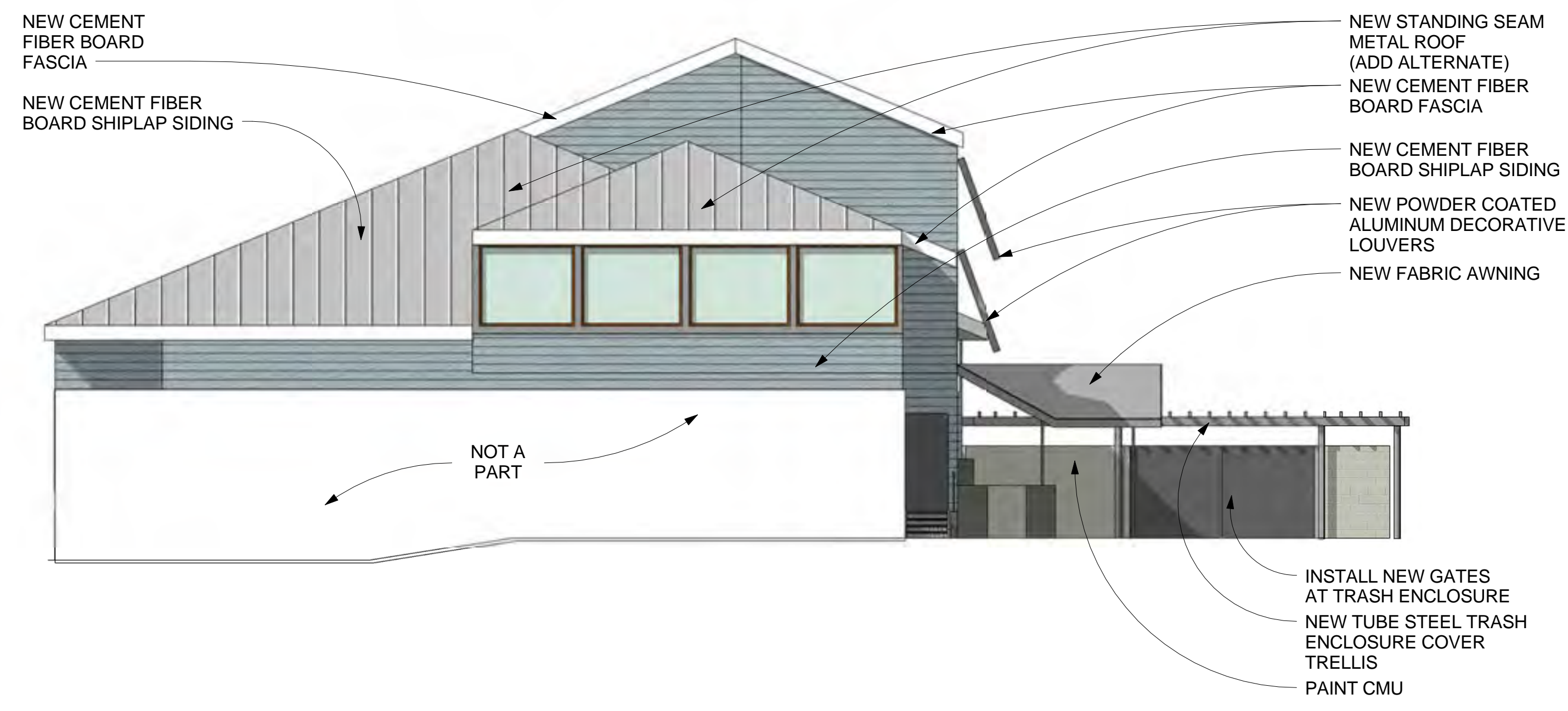
NORTH
SHEET #: A-26

**BUILDING 1
PLANS AND
ELEVATIONS**

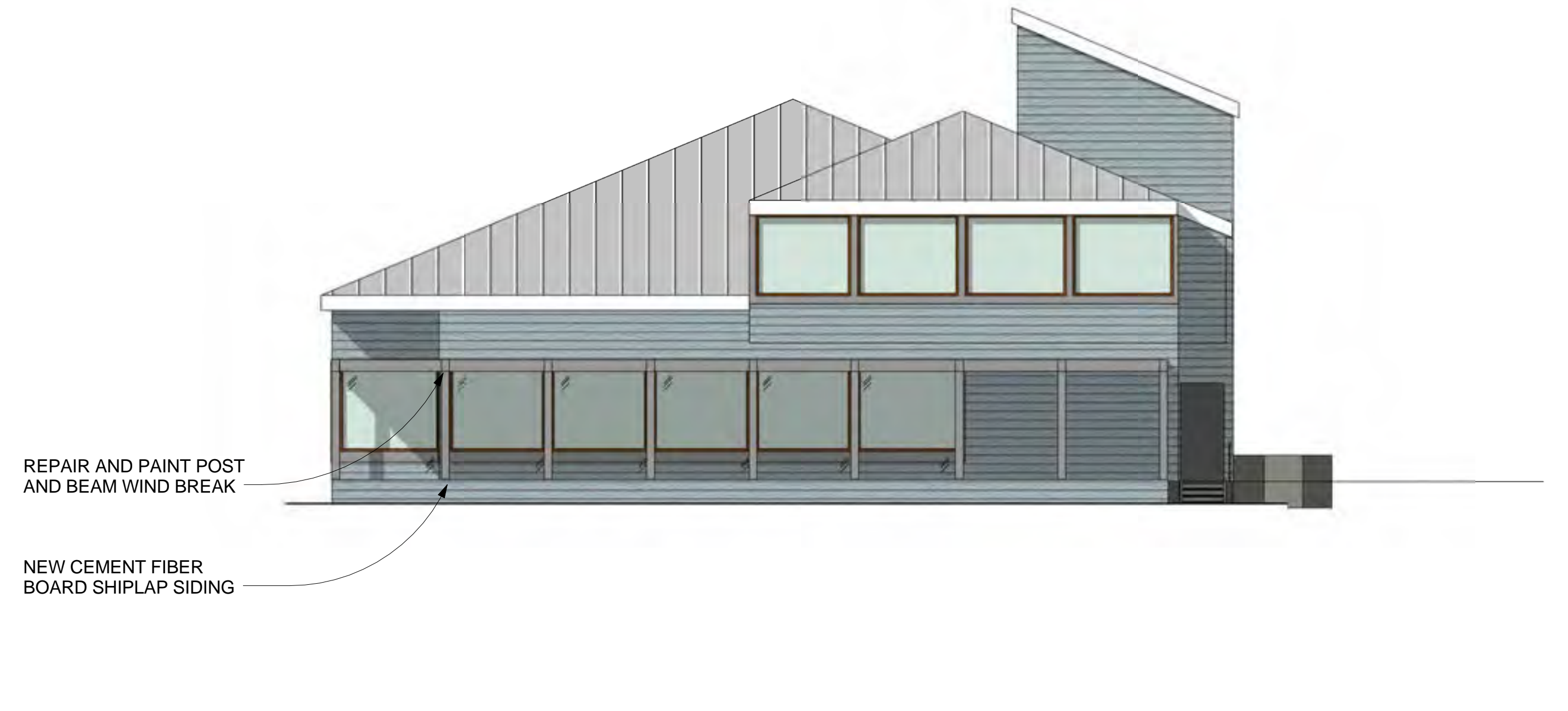
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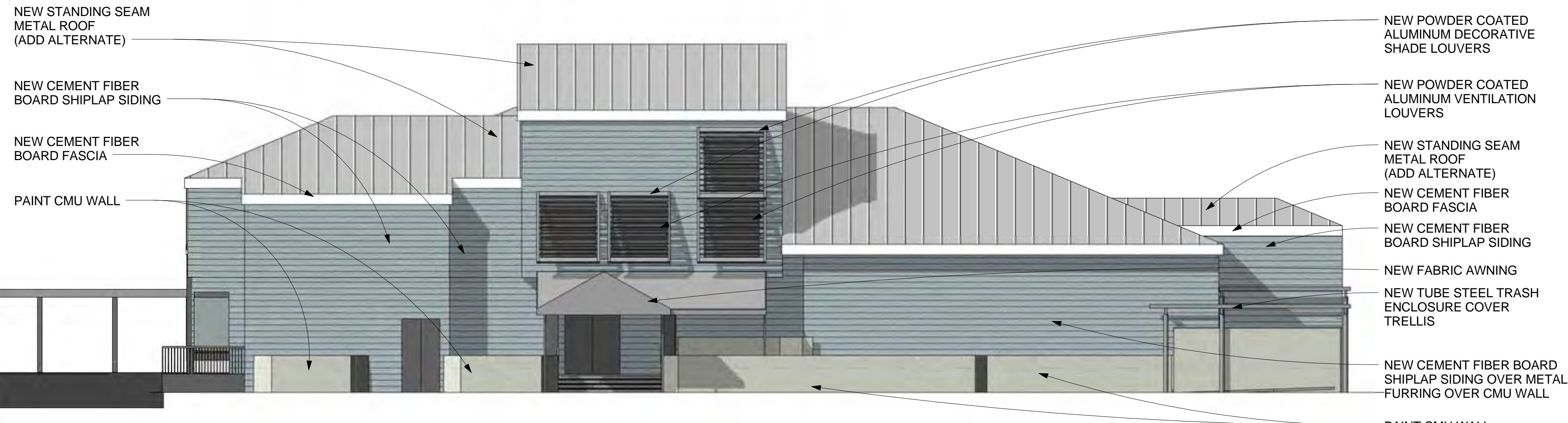
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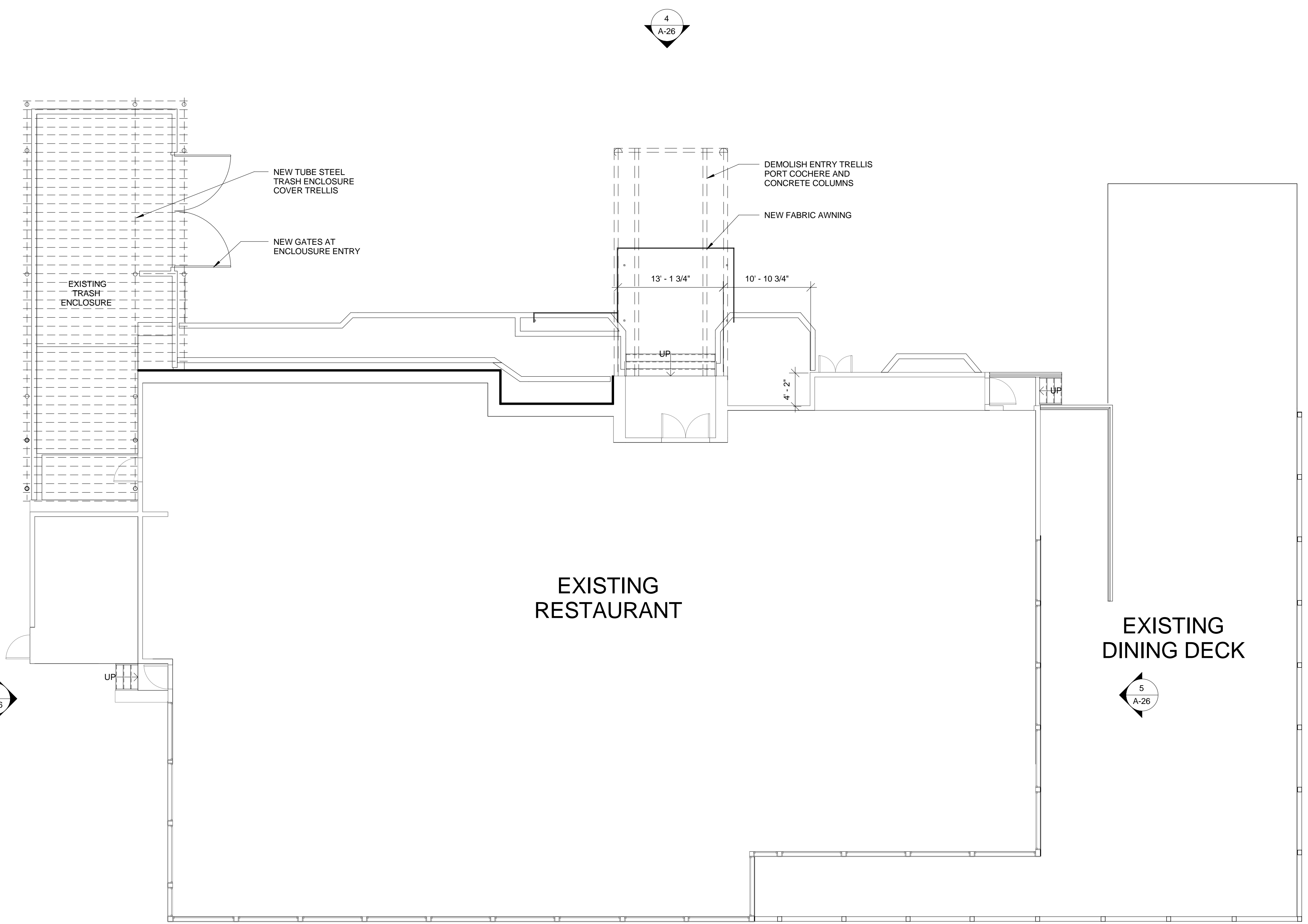
BUILDING 1 - EAST ELEVATION 1/8" = 1'-0" 5



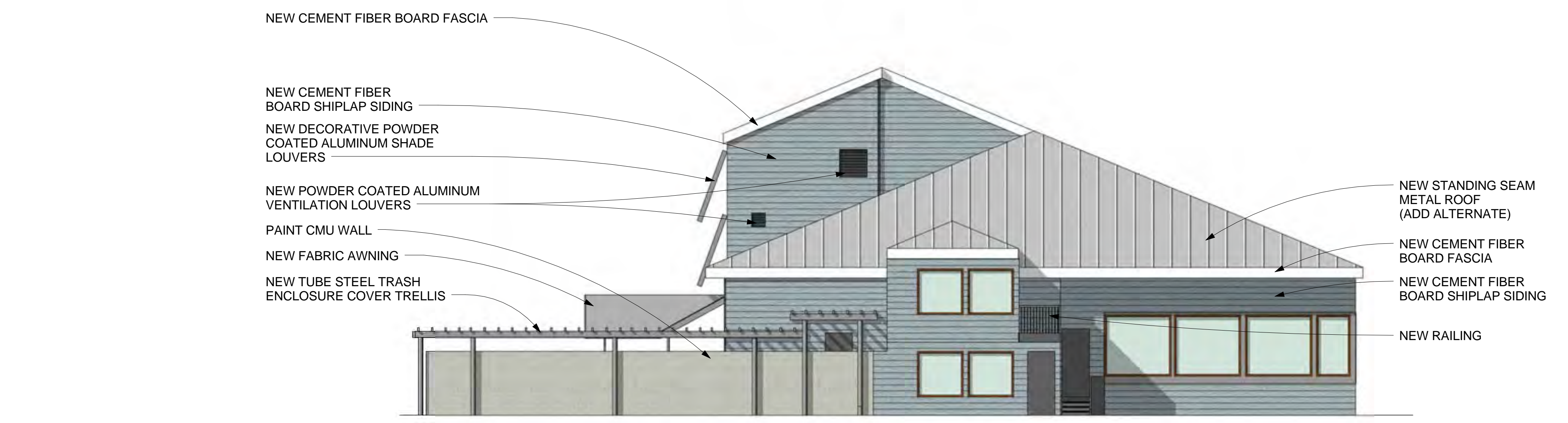
BUILDING 1 - EAST DECK ELEVATION 1/8" = 1'-0" 6



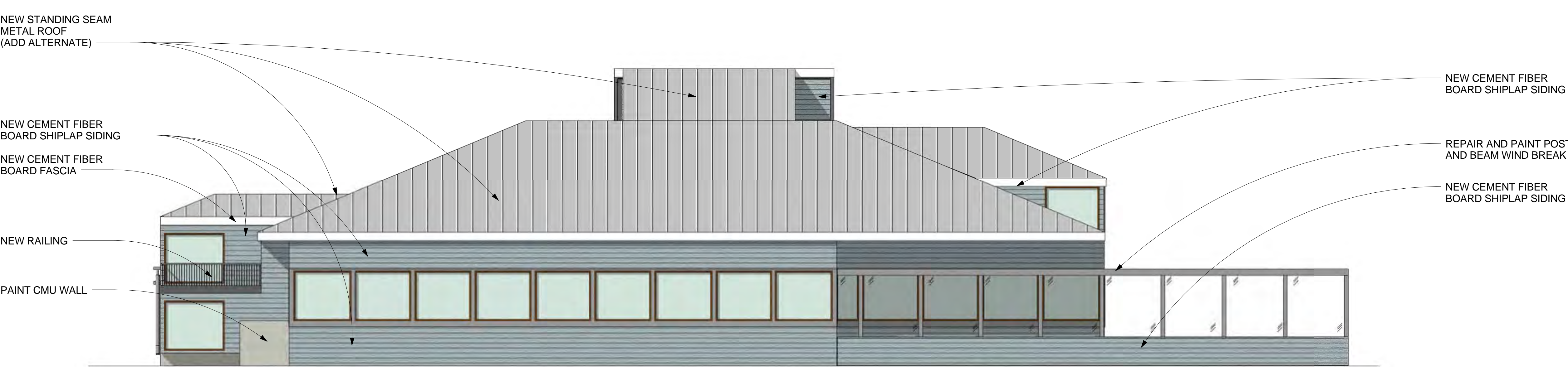
BUILDING 1 - NORTH ELEVATION 1/8" = 1'-0" 4



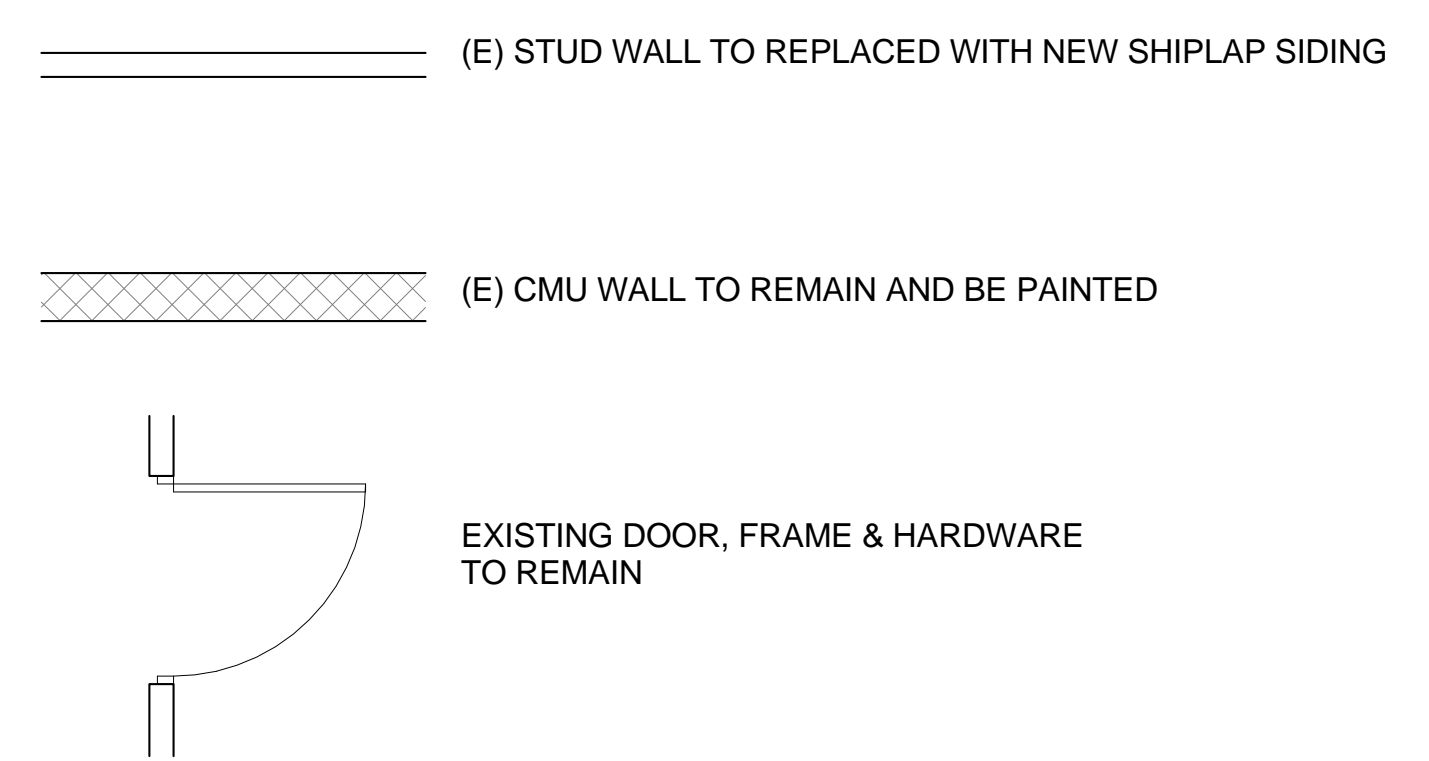
BUILDING 1 - FLOOR PLAN 1/8" = 1'-0" 1



BUILDING 1 - WEST ELEVATION 1/8" = 1'-0" 3



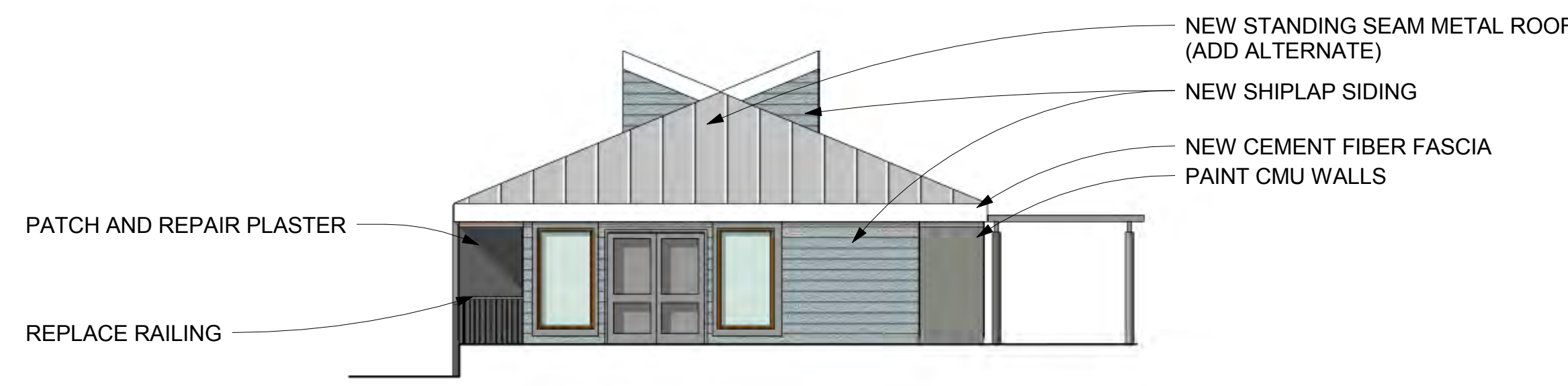
BUILDING 1 - SOUTH ELEVATION 1/8" = 1'-0" 2



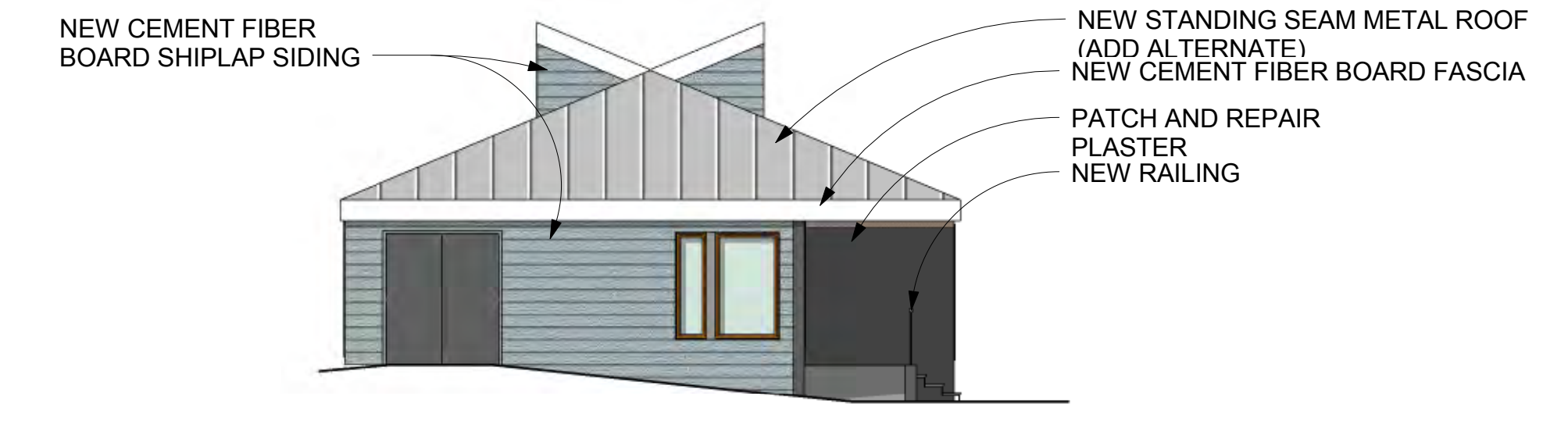
PLAN LEGEND



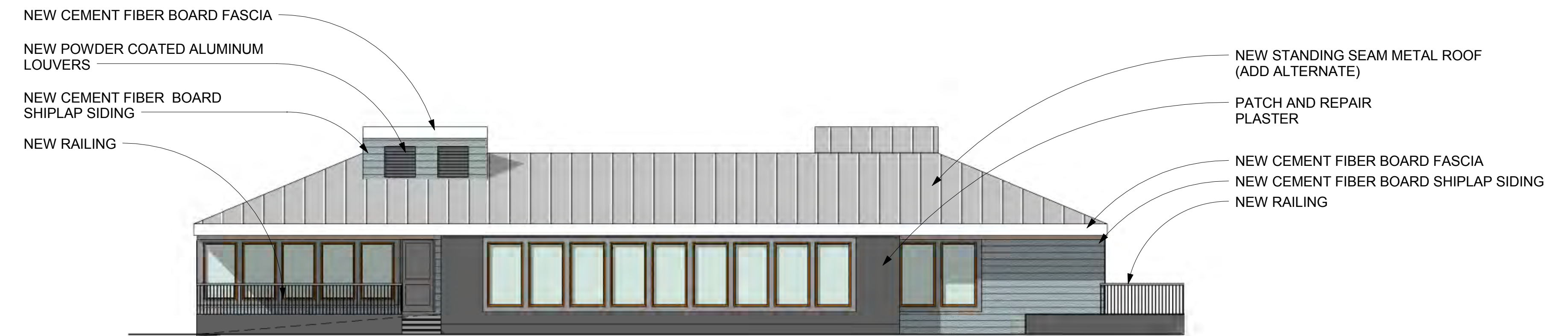
BUILDING 3 - WEST ELEVATION 1/8" = 1'-0" 8



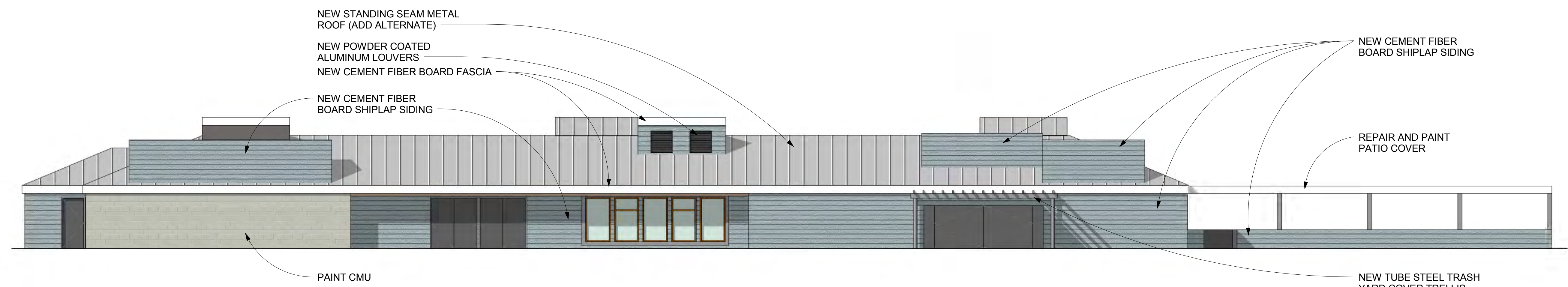
BUILDING 3 - NORTH ELEVATION 1/8" = 1'-0" 7



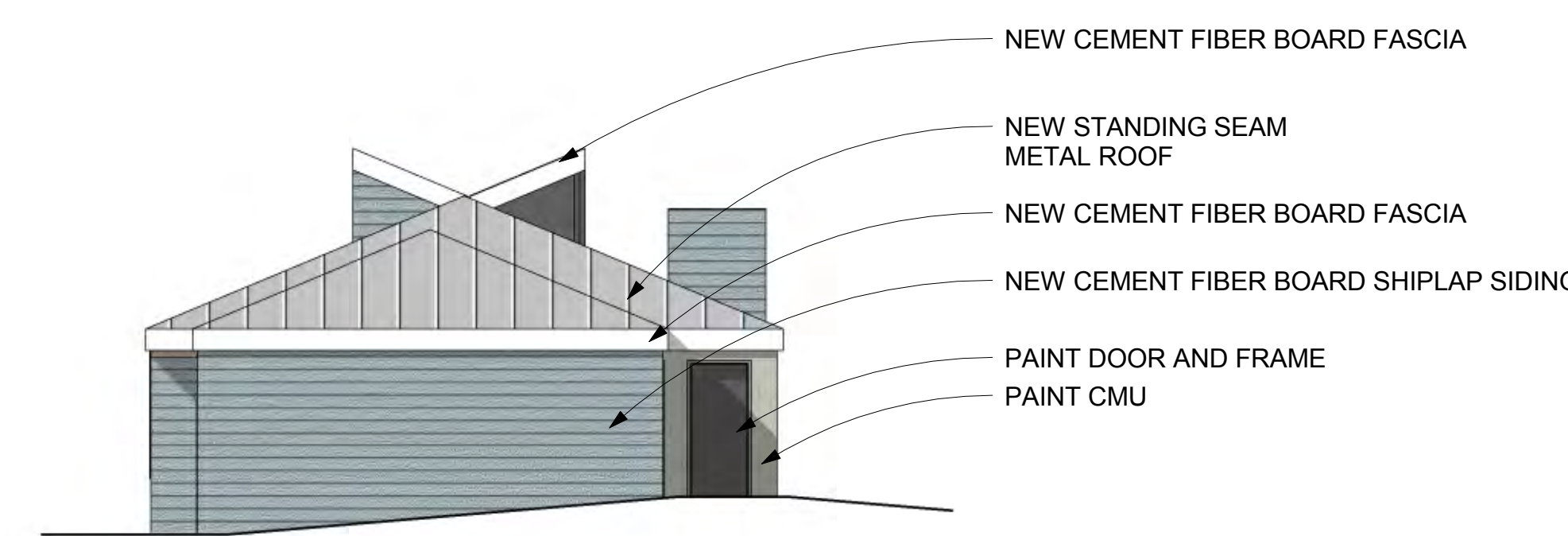
BUILDING 3 - SOUTH ELEVATION 1/8" = 1'-0" 6



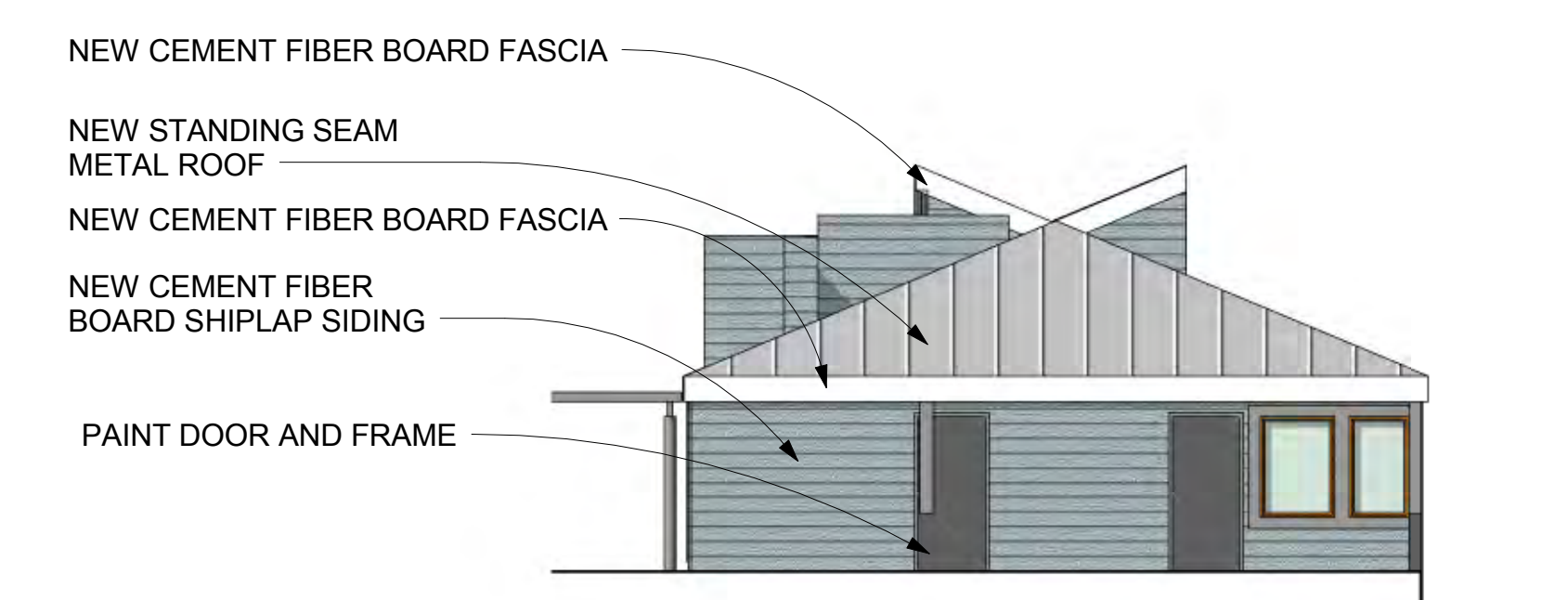
BUILDING 3 - EAST ELEVATION 1/8" = 1'-0" 5



BUILDING 2 - WEST ELEVATION 1/8" = 1'-0" 4



BUILDING 2 - NORTH ELEVATION 1/8" = 1'-0" 3



BUILDING 2 - SOUTH ELEVATION 1/8" = 1'-0" 2

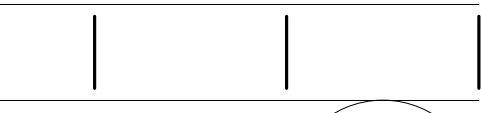


BUILDING 2 - EAST ELEVATION 1/8" = 1'-0" 1

- GENERAL NOTES**
- PREP AND PAINT ALL CMU WALLS. TYP.
 - REMOVE (E) SIDING AND BUILDING PAPER. INSTALL NEW BUILDING PAPER, WINDOW FLASHING. INSTALL NEW CEMENT FIBER BOARD SHIPLAP SIDING, ALL TRIMS AND PAINT, TYP.
 - REMOVE (E) ROOFING AND FLASHING. REPAIR DAMAGE TO ROOF DECK WHERE OCCURS. INSTALL NEW FLASHING, ROOFING MEMBRANE, FLASHING AND ALUMINUM STANDING SEAM METAL ROOF. (ADD ALTERNATE)
 - REMOVE (E) SHINGLE CLADDING AND BUILDING PAPER/FLASHING AT FASCIA. INSTALL NEW FLASHING, BUILDING PAPER, AND CEMENT FIBER BOARD FASCIA CLADDING WITH BATTENS AND TRIMS
 - REMOVE (E) LOUVERS AND INSTALL NEW POWDER COATED ALUMINUM LOUVERS
 - REMOVE (E) RAILING AND INSTALL NEW POWDER COATED ALUMINUM RAILING



REVISED: 3-27-14
DATE: 02-28-14
PROJECT #: 2011-40140
SCALE: 1/8" = 1'-0"



NORTH
SHEET #: A-28

**BUILDINGS 2
AND 3
ELEVATIONS**

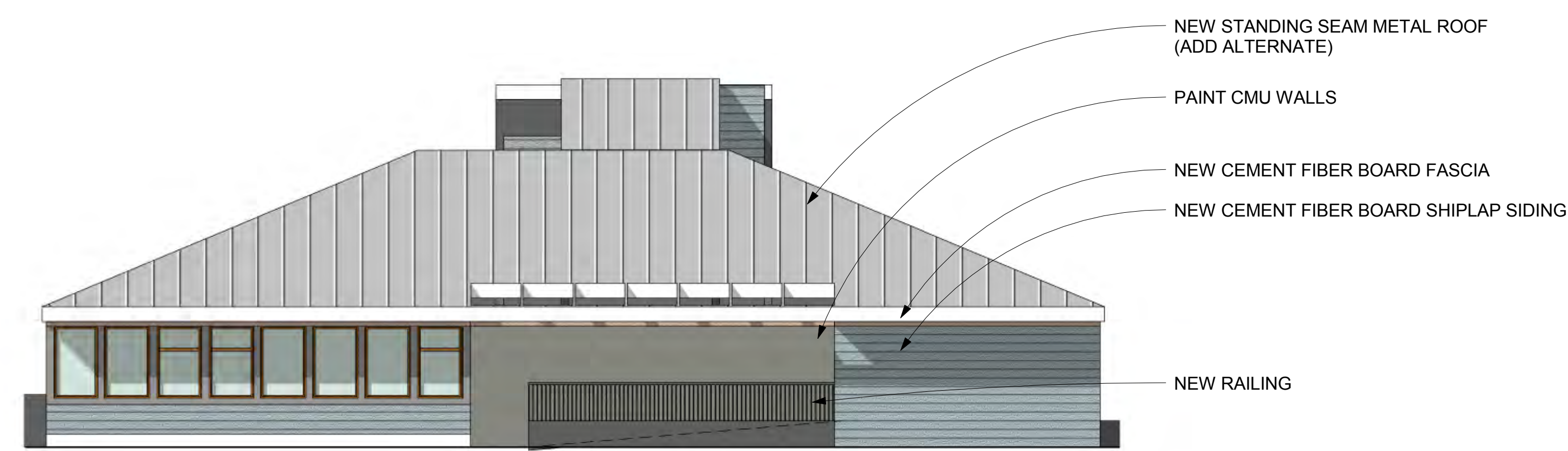
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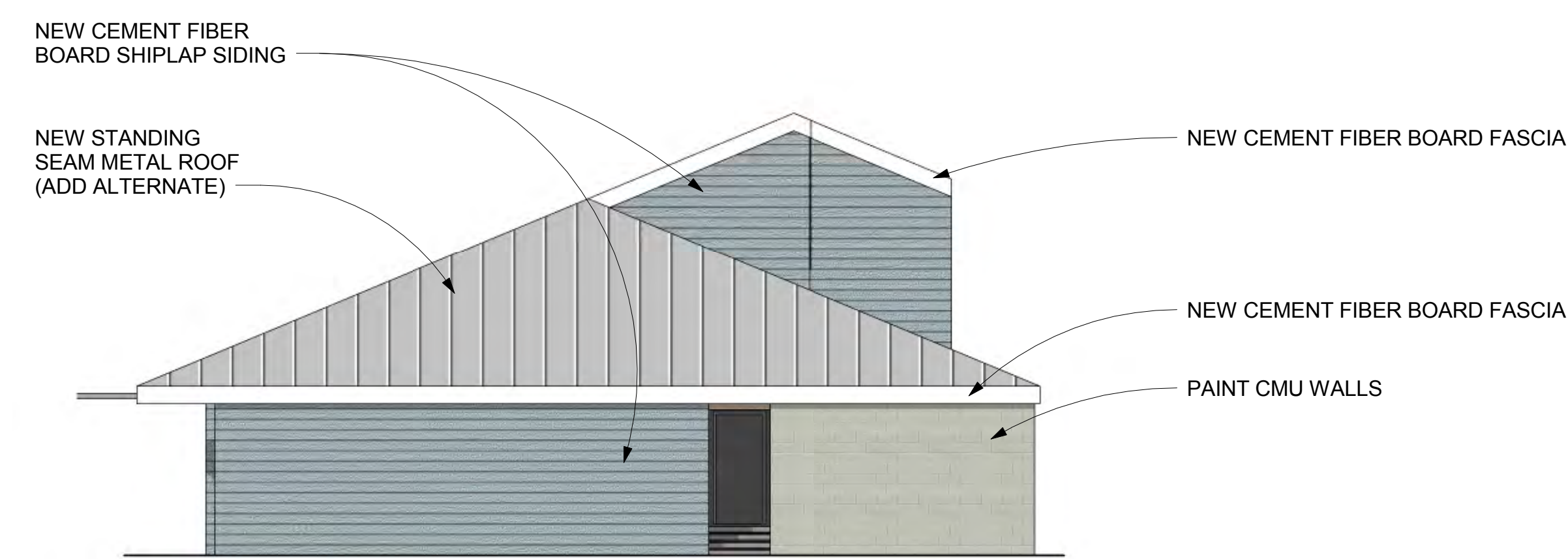
MVE Institutional, Inc.
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Tustin, California 92680
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info@mve-institutional.com
www.mve-architecture.com



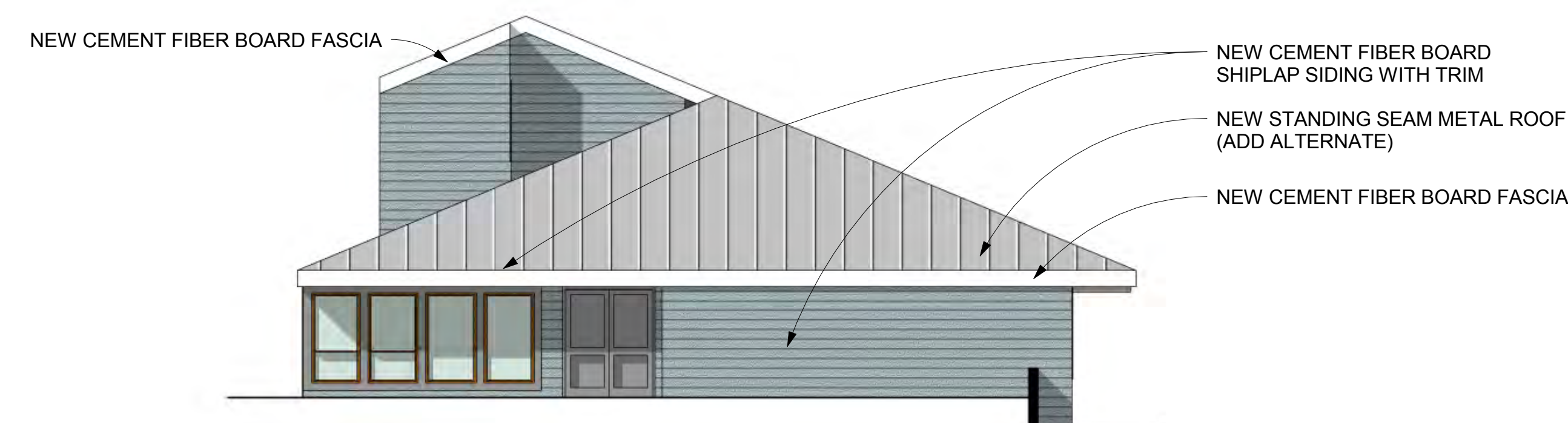
BUILDING 4 - NORTH ELEVATION 1/8" = 1'-0" 6



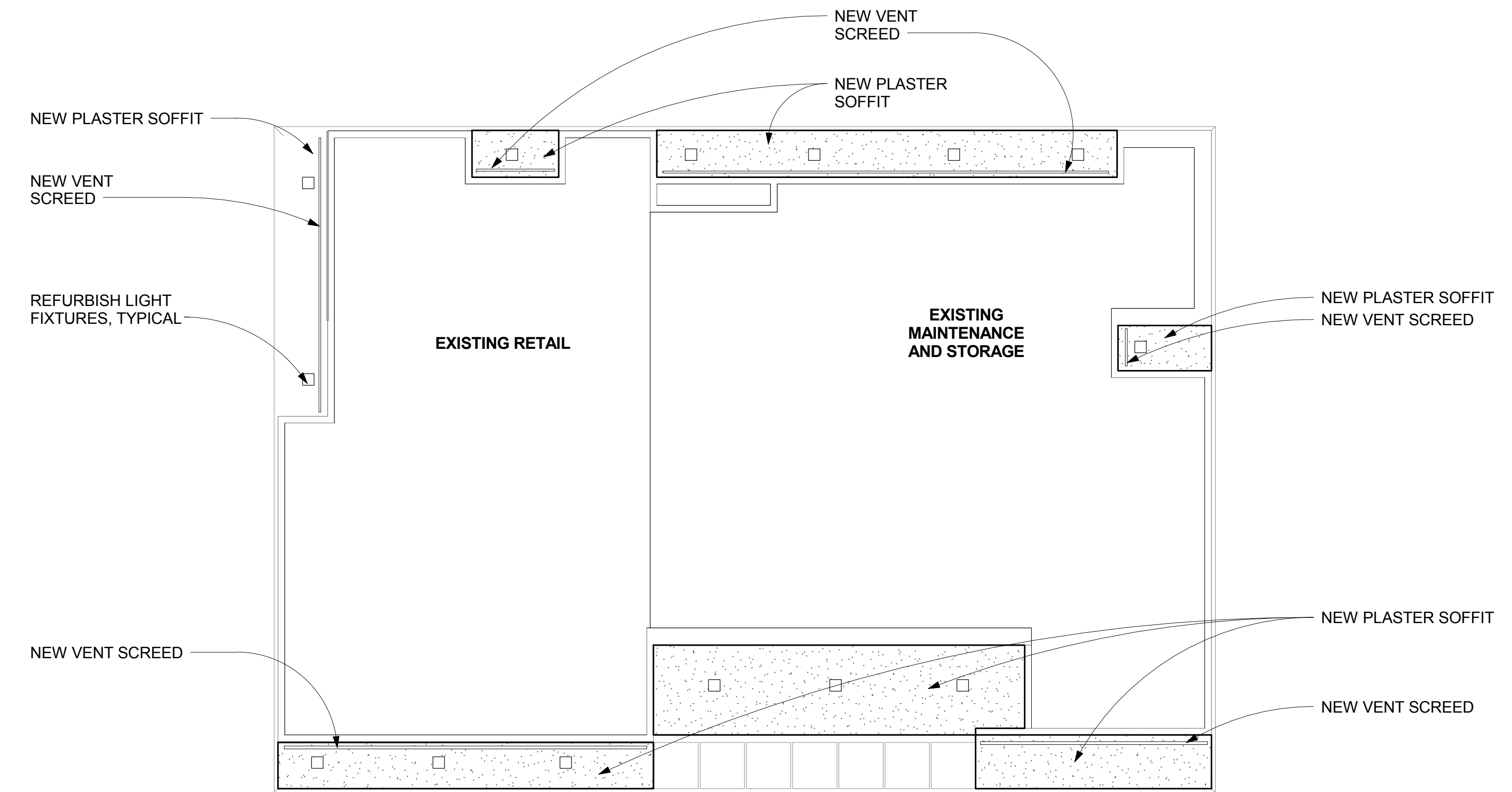
BUILDING 4 - SOUTH ELEVATION 1/8" = 1'-0" 5



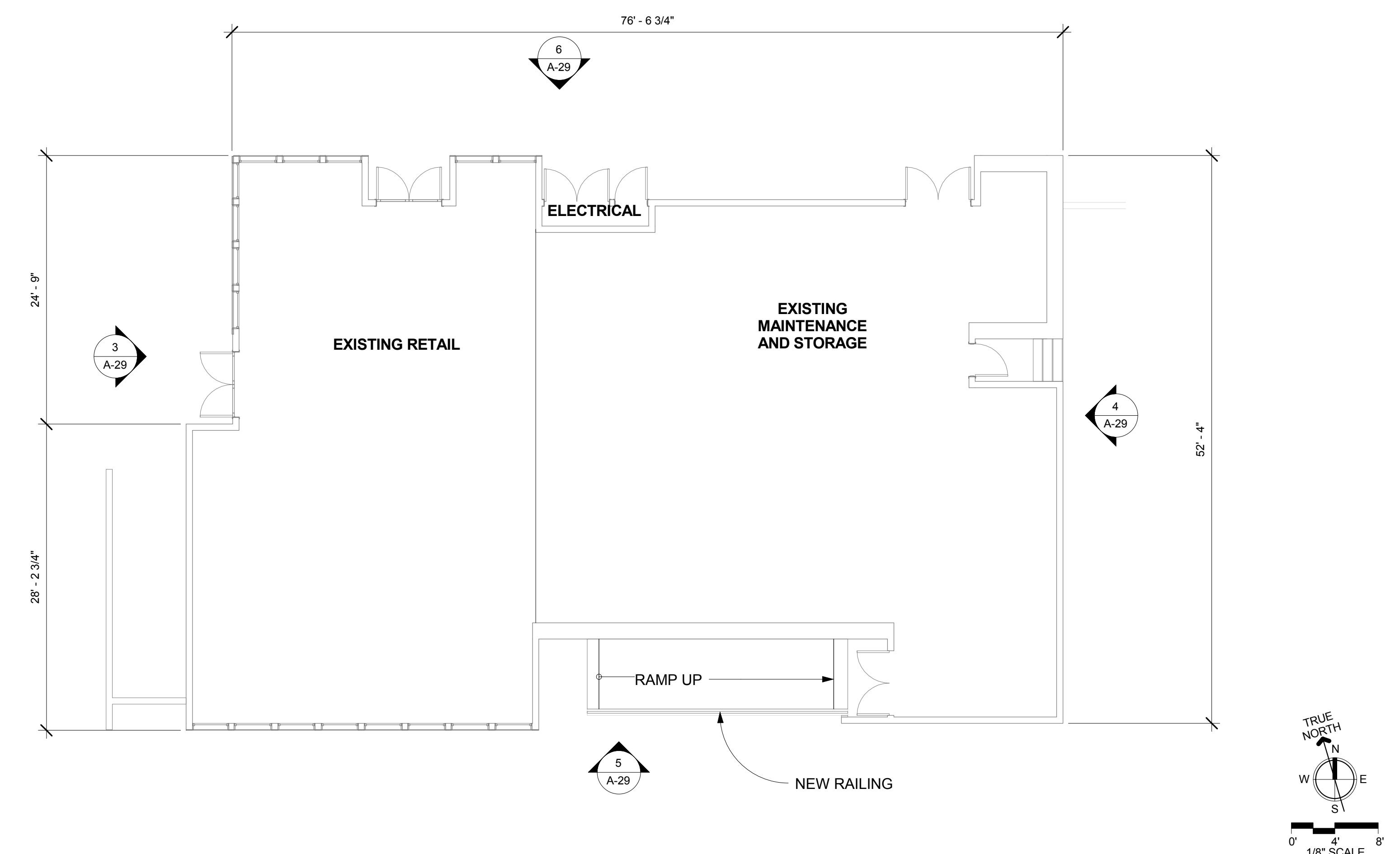
BUILDING 4 - EAST ELEVATION 1/8" = 1'-0" 4



BUILDING 4 - WEST ELEVATION 1/8" = 1'-0" 3



BUILDING 4 REFLECTED CEILING 1/8" = 1'-0" 2

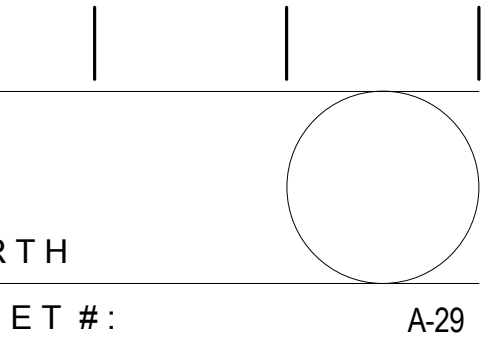


BUILDING 4 PLAN 1/8" = 1'-0" 1

- GENERAL NOTES**
- PREP AND PAINT ALL CMU WALLS, TYP.
 - REMOVE (E) SIDING AND BUILDING PAPER, INSTALL NEW BUILDING PAPER, WINDOW FLASHING, INSTALL NEW CEMENT FIBER BOARD SHIPLAP SIDING, ALL TRIMS AND PAINT, TYP.
 - REMOVE (E) ROOFING AND FLASHING, REPAIR DAMAGE TO ROOF DECK WHERE OCCURS. INSTALL NEW FLASHING, ROOFING MEMBRANE, FLASHING AND ALUMINUM STANDING SEAM METAL ROOF. (ADD ALTERNATE)
 - REMOVE (E) SHINGLE CLADDING AND BUILDING PAPER/FLASHING AT FASCIA, INSTALL NEW FLASHING, BUILDING PAPER, AND CEMENT FIBER BOARD FASCIA CLADDING WITH BATTENS AND TRIMS
 - REMOVE (E) LOUVERS AND INSTALL NEW POWDER COATED ALUMINUM LOUVERS
 - REMOVE (E) RAILING AND INSTALL NEW POWDER COATED ALUMINUM RAILING



| | |
|------------|--------------|
| REVISED | 3-27-14 |
| DATE: | 02-28-14 |
| PROJECT #: | 2011-40140 |
| SCALE: | 1/8" = 1'-0" |



**BUILDING 4
PLANS AND
ELEVATIONS**

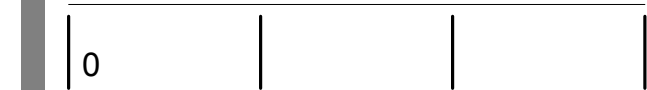
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MVE Institutional
Planning Architecture Interiors

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info@mve-institutional.com
www.mvearchitecture.com



DATE: 02-28-14
PROJECT #: 2011-40140
SCALE: As indicated



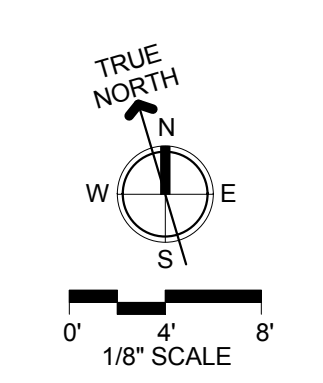
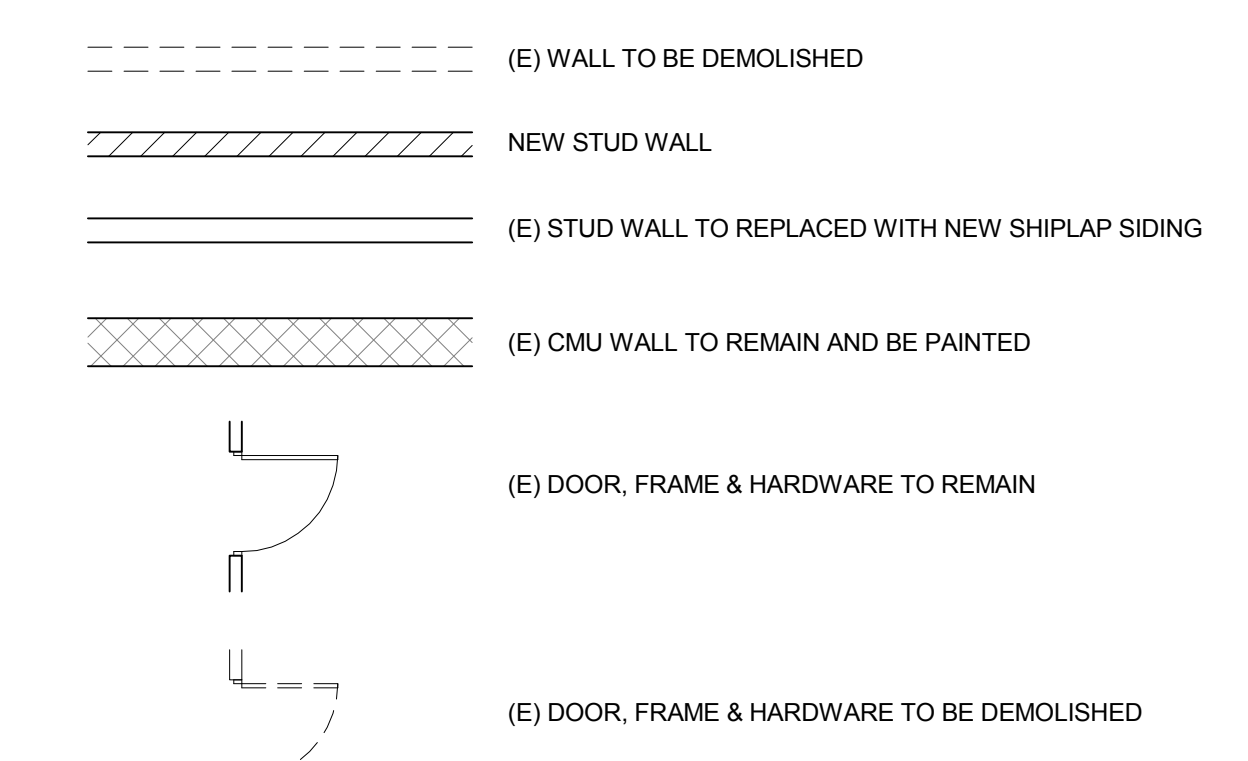
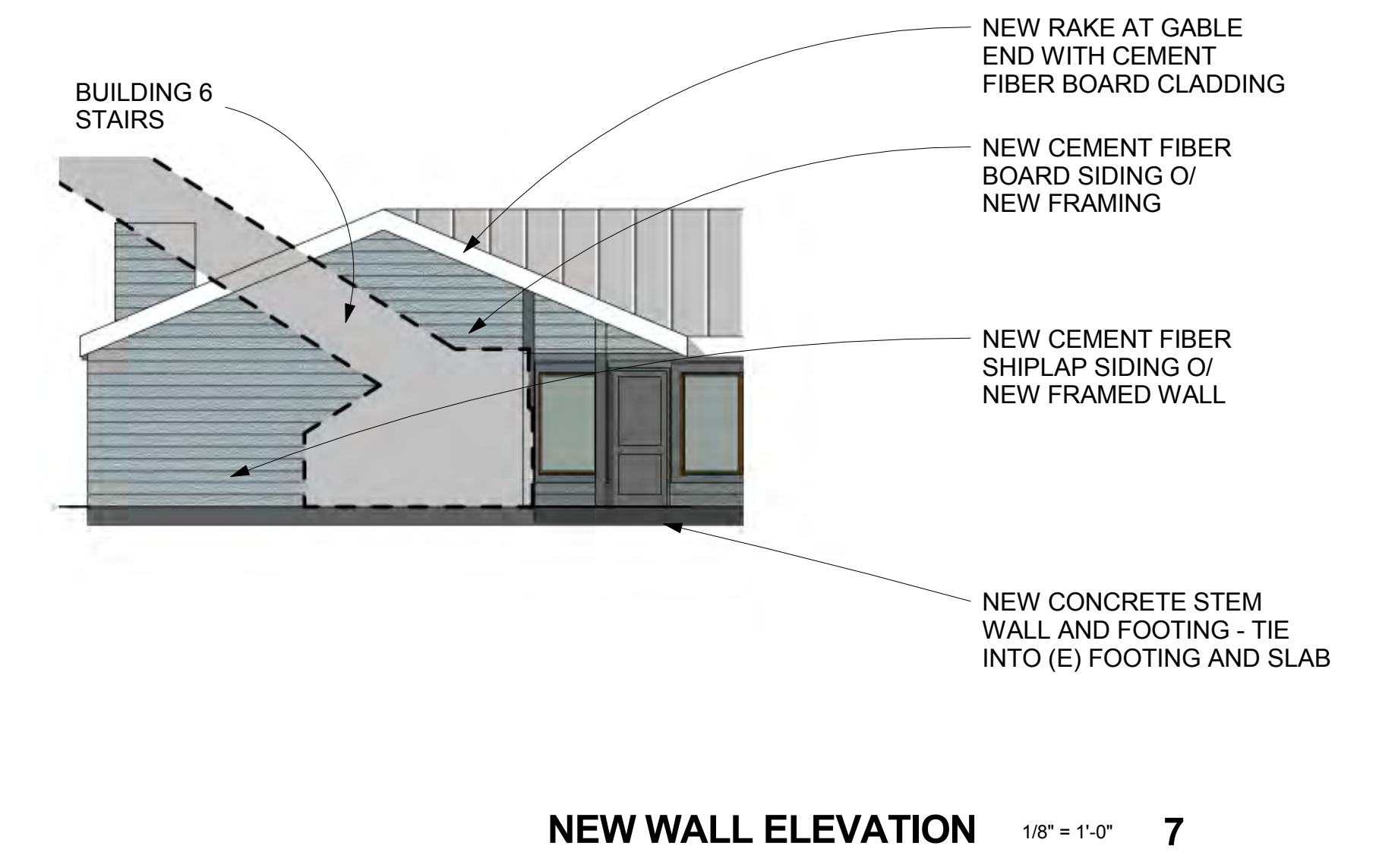
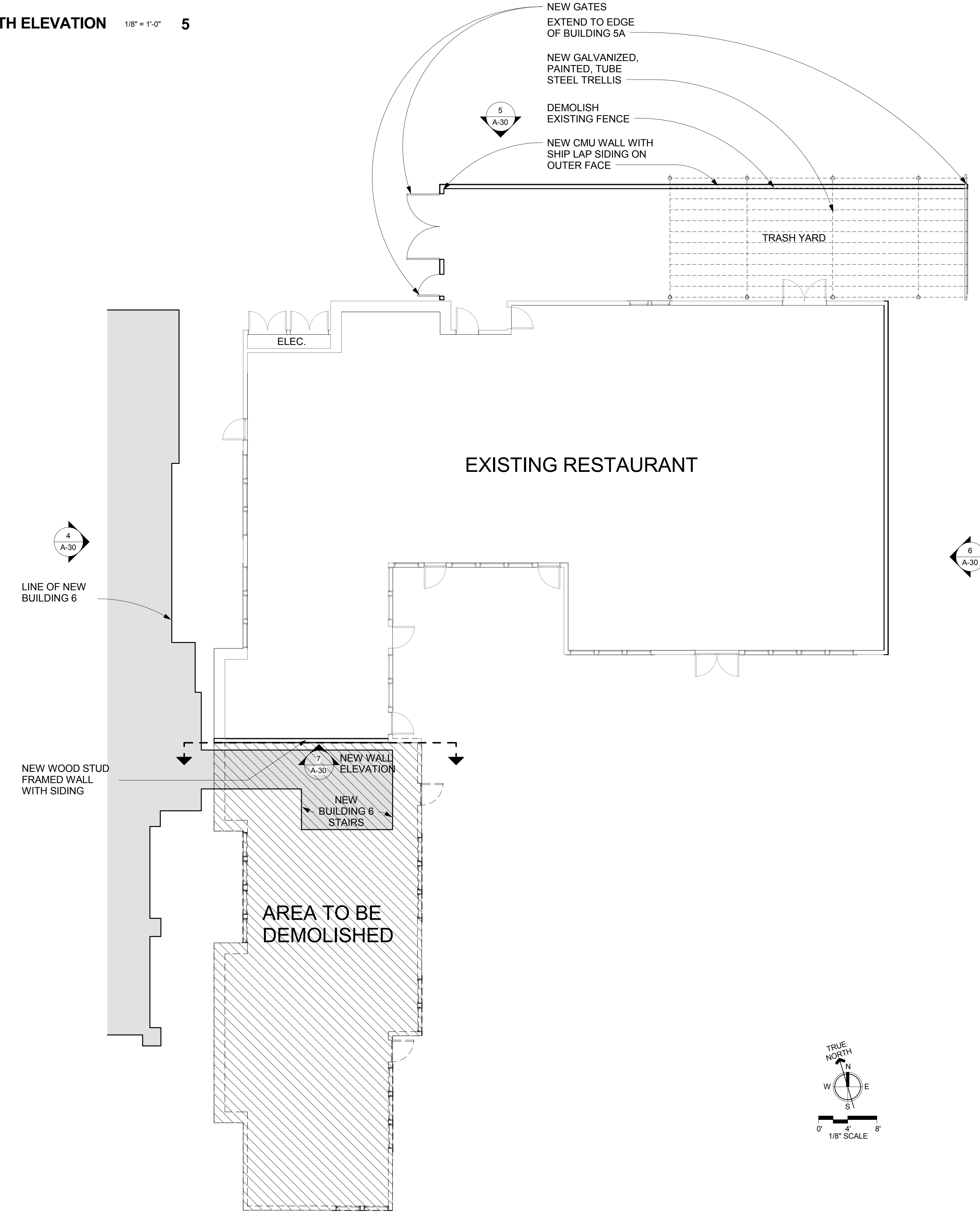
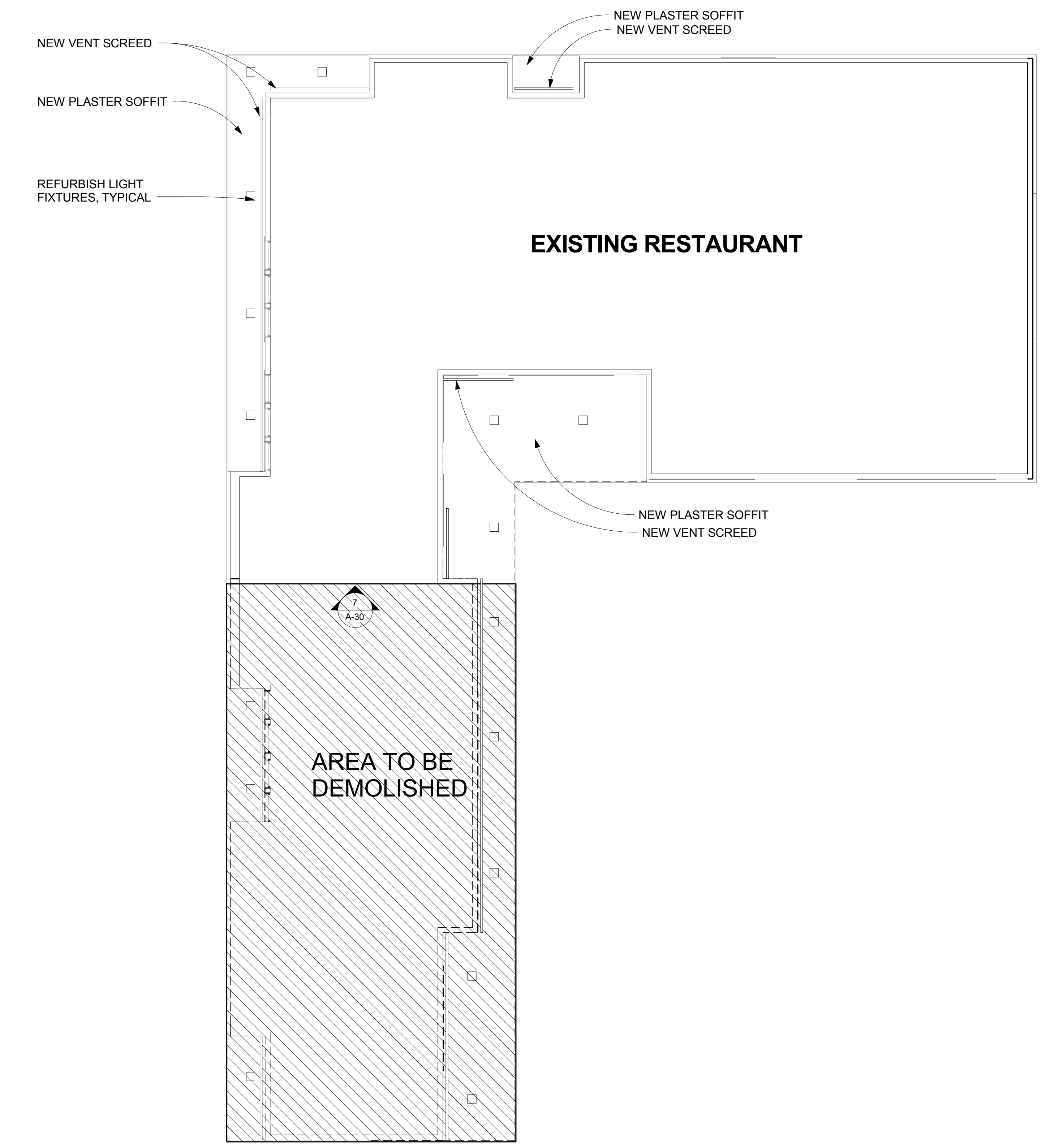
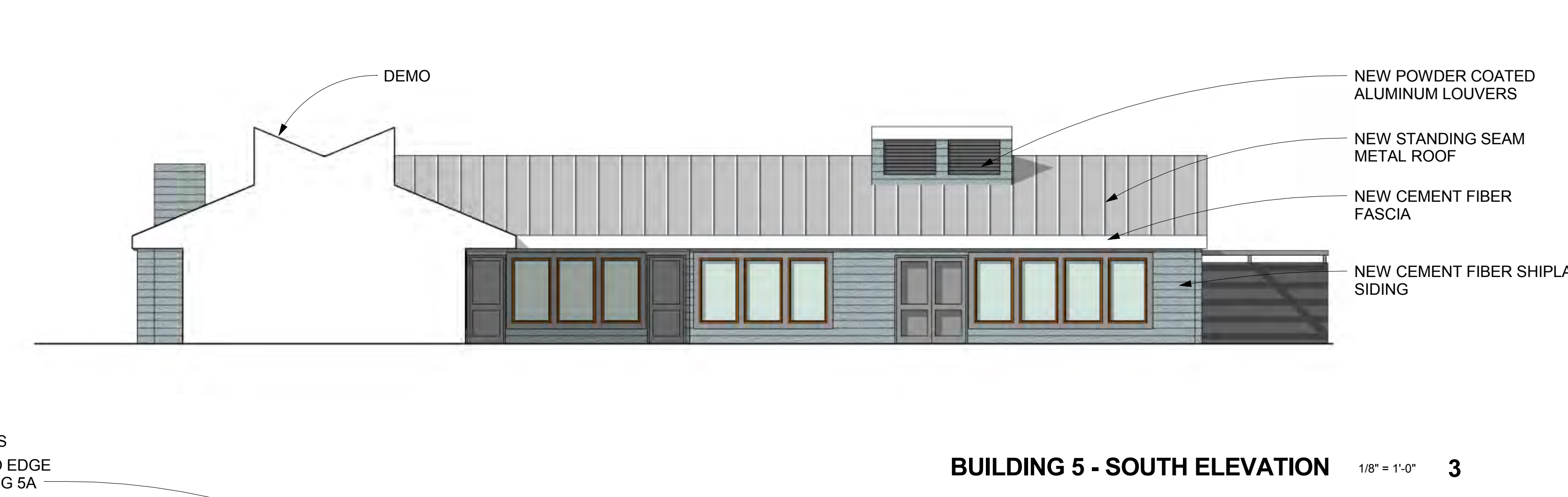
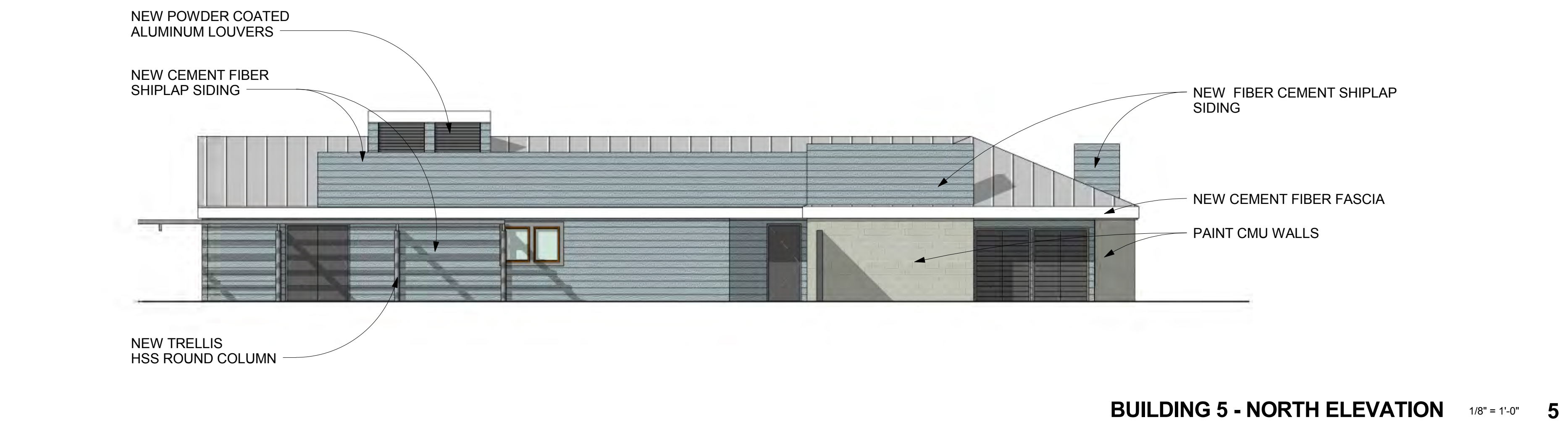
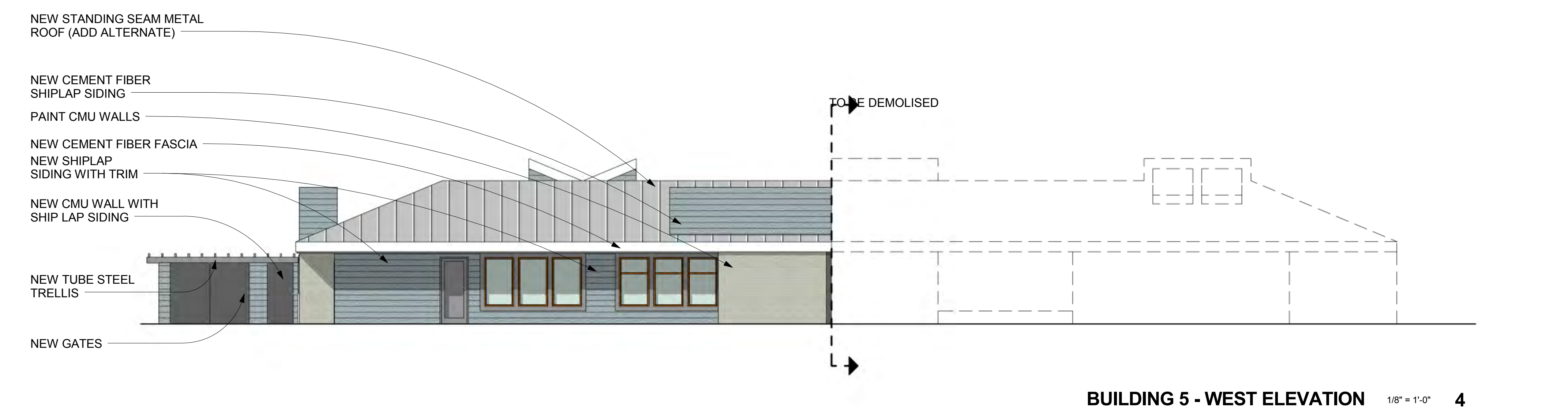
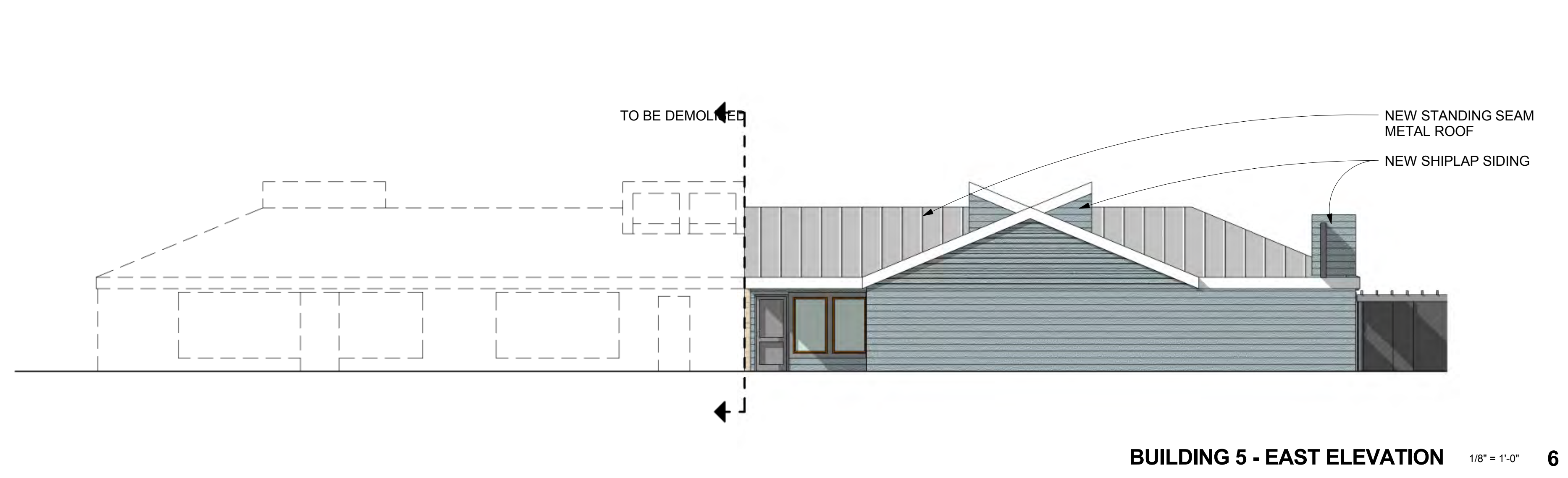
NORTH
SHEET #: A-30

**BUILDING 5B
PLANS AND
ELEVATIONS**

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Planning Architects Interiors

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info@mve-institutional.com
www.mve-architects.com



REVISIONS

| | | |
|---|----------|----------------------------|
| 1 | 01/08/14 | 1ST PLAN CHECK CORRECTIONS |
| 2 | | |
| 3 | | |
| 4 | | |



DRAWN BY: RH
 CHECKED BY: SA
 DATE: 01/08/14
 JOB #: 1245
 SHEET:

KEYNOTES

- PROVIDE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EVERY ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES AND SHALL COMPLY WITH THE REQUIREMENTS FOUND IN CBC SECTIONS 1117B.5 AND 1127B.3 (DETAIL 4/A.601)
- ACCESSIBLE RESTROOM SIGN (DETAIL 5/A.601)
- LED EXIT SIGN W/ BATTERY BACKUP
- TACTILE EXIT SIGN PER 2010 CBC SECTION 1011.3 (DETAIL 3/A.603)
- ACCESSIBLE LAVATORY/ FAUCET 2.2 GPM TYP./ HOT WATER AND DRAINPIES ACCESSIBLE UNDER LAVATORY SHALL BE INSULATED OR OTHERWISE COVERED/ THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY/ PROVIDE ACCESSIBLE KNEE CLEARANCE (DETAIL 7/A.601)
- ACCESSIBLE WATER CLOSET- 1.6 GPM TYP.
- 36" LONG x 1 1/4" DIA. GRAB BAR
- 42" LONG x 1 1/4" DIA. GRAB BAR
- WALL MOUNTED URINAL- 1.6 GPM TYP.
- WALL PARTITION
- TEMPERED GLASS INTERIOR STOREFRONT DOOR & WINDOW SYSTEM
- GARAVENTA VERTICAL WHEELCHAIR PLATFORM LIFT (DETAIL 4/A.603)
- EXISTING EXHAUST HOOD: THE LOWER LIP OF HOOD SHOULD NOT BE MORE THAN 7" ABOVE THE FLOOR AND SHOULD NOT BE MORE THAN 4" ABOVE THE COOKING SURFACE. THE HOOD SHALL OVERHANG OR EXTEND AT A HORIZONTAL DISTANCE NOT LESS THAN 6" BEYOND THE OUTER EDGES OF THE COOKING SURFACES ON ALL OPEN SIDES. IT SHALL HAVE GREASE TROUGHS AND DRIP PANS THAT ARE EASILY CLEANABLE. MAKE-UP AIR SHALL BE PROVIDED AT LEAST EQUAL TO THAT AMOUNT WHICH IS MECHANICALLY EXHAUSTED. FIRE EXTINGUISHING SYSTEMS MAY BE REQUIRED BY LOCAL FIRE DEPARTMENT CODES. THEY SHALL BE INSTALLED SO AS TO ALLOW EASY CLEANABILITY OF THE HOOD AND DUCT SYSTEMS AND WHENEVER POSSIBLE SHALL NOT BE INSTALLED ABOVE FOOD OR UTENSIL HANDLING AREAS
- DOOR ACTIVATED AIR CURTAIN DEVICE- IT SHALL DELIVER AN AIR VELOCITY OF AT LEAST 750 FT. PER MINUTE MEASURED 3 FEET ABOVE THE FLOOR/ THE CURTAIN OF AIR SHALL COVER THE ENTIRE WIDTH OF THE DOOR
- PUBLIC VIEW DECK DIRECTION SIGN
- OCCUPANCY LOAD SIGN STATING:
MAXIMUM OCCUPANCY NOT TO EXCEED 175 PERSONS

GENERAL NOTES

- ALL EQUIPMENT INCLUDING SHELVINGS MUST BE SUPPORTED BY 6" HIGH EASILY CLEANABLE LEGS, COMMERCIAL CASTORS, OR COMPLETELY SEALED IN POSITION ON A 4" HIGH CONTINUOUSLY COVERED BASE OR CONCRETE CURB TO FACILITATE EASE OF CLEANING
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY-GLAZING STANDARD
- LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDINGS SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44". CBC SECTIONS 1008.1.5 & 1008.1.6
- PROVIDE A LEVEL LANDING ON EACH SIDE OF A DOOR EXTENDING 60" ON DIRECTION OF DOOR SWING AND 48" IN OPPOSITE DIRECTION OF DOOR SWING. MEASURED WITH DOOR CLOSED. SECTION 1133B.2.4, 1133B.2.4.2 & 1008.1.5 FIG 11B-26A & B
- ACCESSIBLE SEATING SHALL BE DESIGNED AND ARRANGED TO PERMIT USE BY WHEELCHAIR OCCUPANTS, AND SHALL COMPLY WITH THE FOLLOWING:
 A. THE TOPS OF TABLES AND COUNTERS SHALL BE 28" TO 38" FROM THE FLOOR OR GROUND. (1122B.4)
 B. KNEE CLEARANCE SPACES AT LEAST 27" HIGH, 30" WIDE, AND 19" DEEP SHALL BE PROVIDED PER DETAIL 7/A.601 (1122B.3)
- THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
 A. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 B. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO THE CLEARLY INDICATED THE DIRECTION OF EGRESS TRAVEL.
 C. NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT. OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

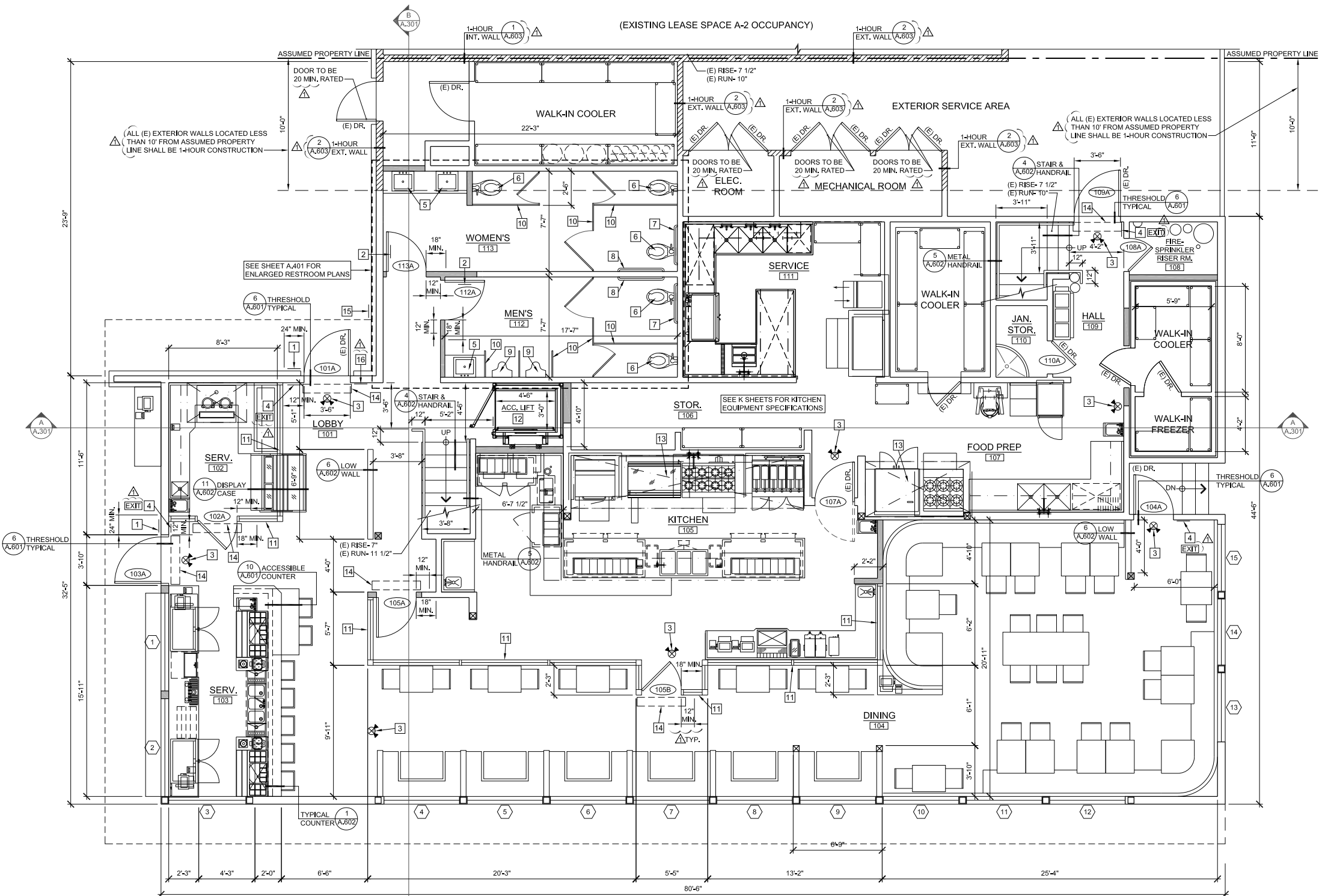
OCCUPANCY LOAD CALCS.

PER 2010 CBC TABLE 1004.1.1:

| OCCUPANCY CLASSIFICATION | DESCRIPTION | SF | CBC TABLE 1004.1.1 LOAD FACTOR | OCCUPANCY LOAD |
|--------------------------|---|----------|--------------------------------|----------------|
| A-2 | LOBBY | 77 SF | 7 | 11 |
| A-2 | BAR SEATING (17 LINEAR FEET, CBC 1004.7) | 33 SF | 17/ 1.5 | 12 |
| A-2 | BOOTH SEATING (105 LINEAR FEET, CBC 1004.7) | 286 SF | 105/ 24 | 53 |
| A-2 | DINING | 774 SF | 15 | 52 |
| A-2 | KITCHEN/ SERVICE/ FOOD PREP | 1,163 SF | 200 | 6 |
| A-2 | STORAGE/ JAN. STOR./ WALK-IN COOLER & FREEZER/ ELEC. RM./ MECH. RM./ FIRE SPRINKLER RISER RM. | 591 SF | 300 | 2 |
| A-2 | RESTROOMS/ HALLWAYS/ STAIRS/ ACCESS. LIFT | 791 SF | 0 | 0 |
| TOTAL | | 3,724 SF | | 136 |
| A-2 | EXTERIOR PUBLIC PATIO DINING AREA | 580 SF | 15 | 39 |
| TOTAL | | 4,304 SF | | 175 |

**Building 5A
 1ST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW 2x WOOD STUD WALL

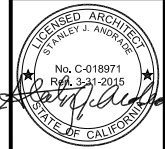
LEGEND

- DETAIL # SHEET #
- SEE KEYNOTES
- SEE FINISH SCHEDULE ON SHEET A.501
- SEE WINDOW SCHEDULE ON SHEET A.501
- SEE DOOR SCHEDULE ON SHEET A.501
- LED EXIT SIGN W/ BATTERY BACKUP

Tenant renovations of an existing building, approved by the City of Dana Point by separate permit October 2013. Provided for Reference Only.

REVISIONS

| | | |
|---|----------|----------------------------|
| 1 | 01/08/14 | 1ST PLAN CHECK CORRECTIONS |
|---|----------|----------------------------|



DRAWN BY: RH
 CHECKED BY: SA
 DATE: 01/08/14
 JOB #: 1245
 SHEET:

KEYNOTES

- LED EXIT SIGN W/ BATTERY BACKUP
- GARAVENTA VERTICAL WHEELCHAIR PLATFORM LIFT (DETAIL 4/A.603)
- CLASS "A" POLYCOAT PRODUCTS WALKING DECK SYSTEM OR WATER PROOF MEMBRANE- ICC REPORT# ESR-2785/ INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- PUBLIC VIEW DECK DIRECTION SIGN
- TACTILE EXIT SIGN PER 2010 CBC SECTION 1011.3 (DETAIL 3/A.603)
- OCCUPANCY LOAD SIGN STATING:
MAXIMUM OCCUPANCY NOT TO EXCEED 169 PERSONS

GENERAL NOTES

- ALL EQUIPMENT INCLUDING SHELVING MUST BE SUPPORTED BY 6" HIGH EASILY CLEANABLE LEGS, COMMERCIAL CASTORS, OR COMPLETELY SEALED IN POSITION ON A 4" HIGH CONTINUOUSLY COVERED BASE OR CONCRETE CURB TO FACILITATE EASE OF CLEANING
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY-GLAZING STANDARD
- LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDINGS SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44". CBC SECTIONS 1008.1.5 & 1008.1.6
- PROVIDE A LEVEL LANDING ON EACH SIDE OF A DOOR EXTENDING 60" ON DIRECTION OF DOOR SWING AND 48" IN OPPOSITE DIRECTION OF DOOR SWING. MEASURED WITH DOOR CLOSED. SECTION 1133B.2.4, 1133B.2.4.2, & 1008.1.5 FIG 11B-26A & B
- ACCESSIBLE SEATING SHALL BE DESIGNED AND ARRANGED TO PERMIT USE BY WHEELCHAIR OCCUPANTS, AND SHALL COMPLY WITH THE FOLLOWING:
 A. THE TOPS OF TABLES AND COUNTERS SHALL BE 28" TO 38" FROM THE FLOOR OR GROUND. (1122B.4)
 B. KNEE CLEARANCE SPACES AT LEAST 27" HIGH, 30" WIDE, AND 19" DEEP SHALL BE PROVIDED PER DETAIL 7/A.601 (1122B.3)
- THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
 A. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 B. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO THE CLEARLY INDICATED THE DIRECTION OF EGRESS TRAVEL.
 C. NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT. OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

OCCUPANCY LOAD CALCS.

PER 2010 CBC TABLE 1004.1.1:

| OCCUPANCY CLASSIFICATION | DESCRIPTION | SF | CBC TABLE 1004.1.1 LOAD FACTOR | OCCUPANCY LOAD |
|--------------------------|--|----------|--------------------------------|----------------|
| A-2 | BAR SEATING (45 LINEAR FEET, CBC 1004.7) | 59 SF | 45/ 1.5= | 30 |
| A-2 | BOOTH SEATING (32 LINEAR FEET, CBC 1004.7) | 64 SF | 32/ 2= | 16 |
| A-2 | DINING | 285 SF | 15 | 20 |
| A-2 | SERVICE/ FOOD PREP | 499 SF | 200 | 3 |
| A-2 | STORAGE/ MECHANICAL STORAGE/ MECHANICAL ROOM | 462 SF | 300 | 2 |
| A-2 | OFFICE | 91 SF | 100 | 1 |
| A-2 | HALLWAYS/ WALKWAY | 320 SF | 0 | 0 |
| TOTAL | | 1,790 SF | | 72 |
| A-2 | EXTERIOR PUBLIC VIEWING DECK DINING AREA | 1,442 SF | 15 | 97 |
| TOTAL | | 3,232 SF | | 169 |

LEGEND

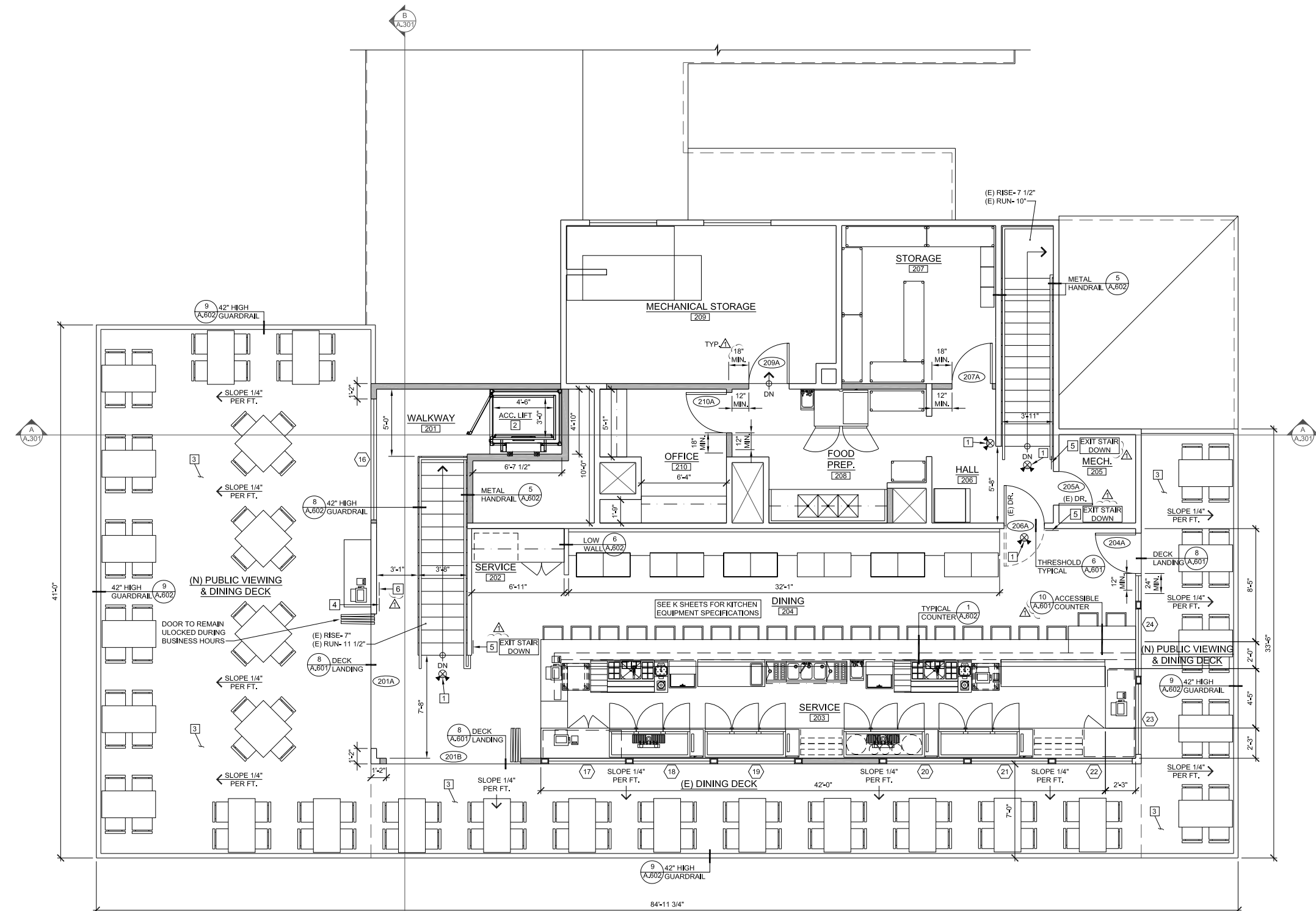
- DETAIL # SHEET #
- SEE WINDOW SCHEDULE ON SHEET A.501
- SEE KEYNOTES
- SEE DOOR SCHEDULE ON SHEET A.501
- SEE FINISH SCHEDULE ON SHEET A.501
- LED EXIT SIGN W/ BATTERY BACKUP

**Building 5A
 2ND FLOOR PLAN**

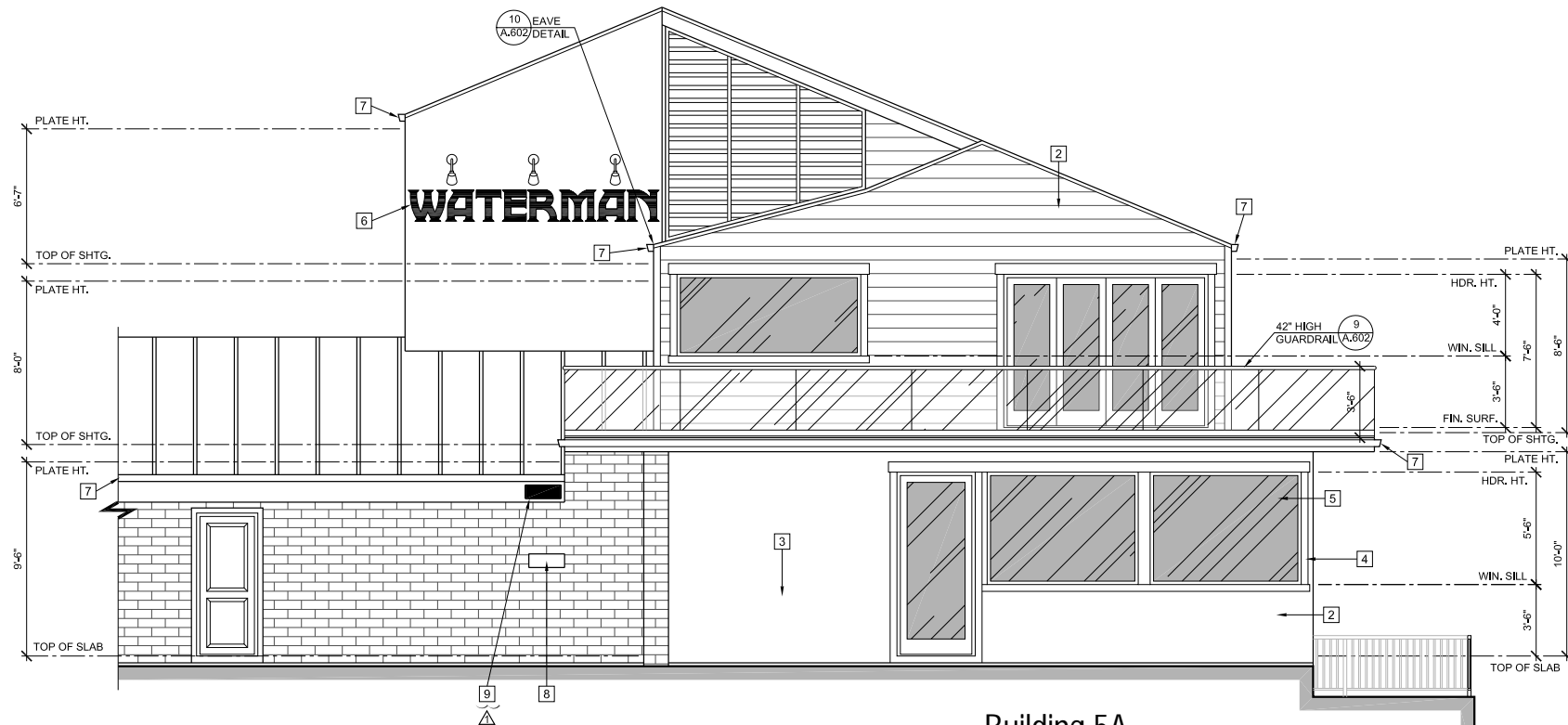
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW 2x WOOD STUD WALL



Tenant renovations of an existing building, approved by the City of Dana Point by separate permit October 2013. Provided for Reference Only.

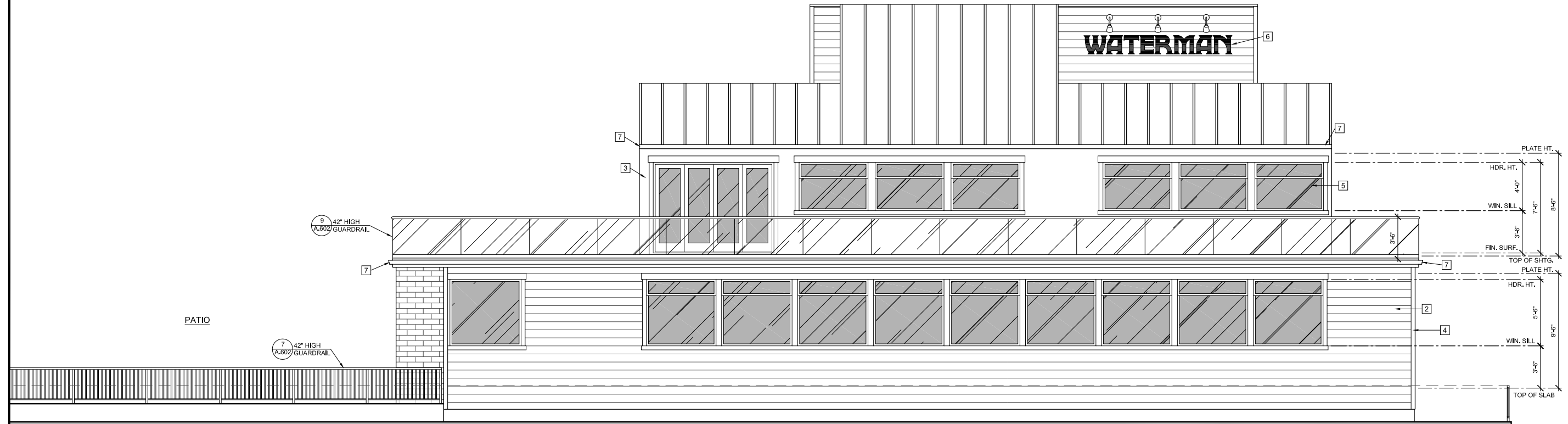


Building 5A
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- ### # KEYNOTES
- CLASS A STANDING SEAM METAL ROOFING:
 - CUSTOM-BUILT METALS
 - ICC REPORT # ESR-2048
 - INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 - NEW EXTERIOR FIBER CEMENT HORIZONTAL SIDING O/ APPROVED BLDG. PAPER
 - NEW STUCCO O/ APPROVED BLDG. PAPER
 - NEW 1x FIBER CEMENT TRIM TO MATCH EXISTING
 - NEW METAL CLAD DOORS & WINDOWS
 - △ SIGNAGE (UNDER SEPERATE PERMIT)
 - GI GUTTERS @ EAVE W/ DOWNSPOUTS CONNECTED TO EXISTING GROUND DRAINAGE SYSTEM
 - PUBLIC VIEW DECK DIRECTION SIGN
 - BUILDING ADDRESS WITH 6" HIGH LETTERING MINIMUM AND CONTRASTING BACKGROUND

ANDRADE ARCHITECTS, INC.
2886 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.715.7474
FAX: 949.715.7475
ANDRADEARCHITECTS.COM
ANDRADE ARCHITECTS, INC.

THE WATERMAN
34661 GOLDEN LANTERN STREET
DANA POINT, CA. 92629

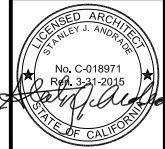


Building 5A
EAST ELEVATION
SCALE: 1/4" = 1'-0"

Building 5A
EXTERIOR ELEVATIONS

REVISIONS

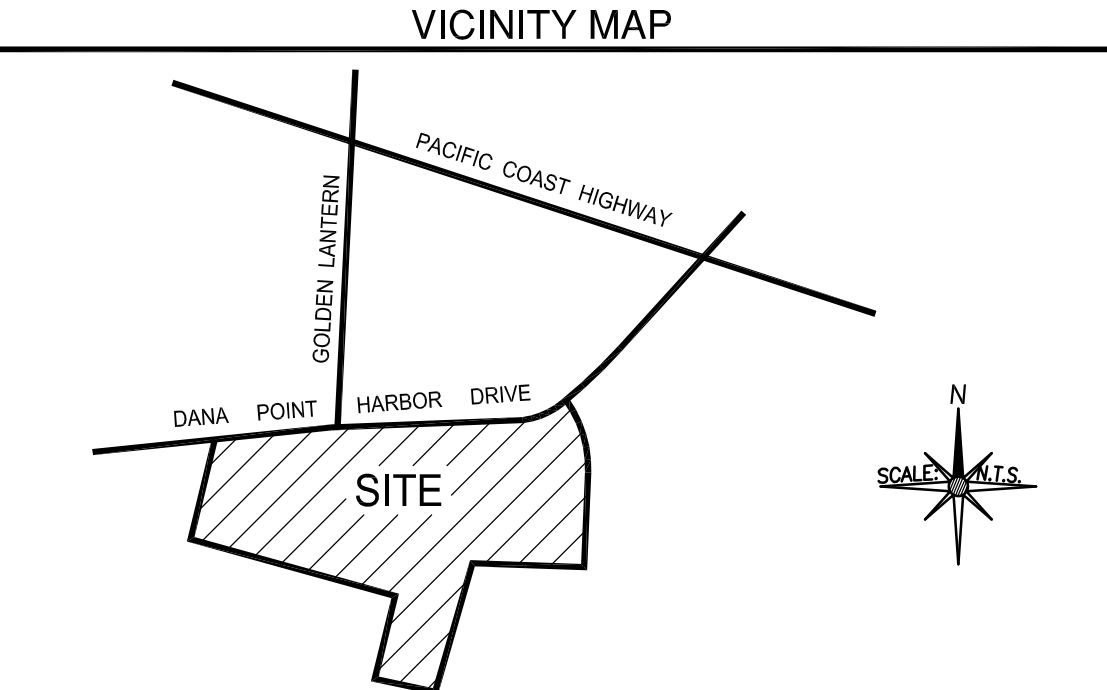
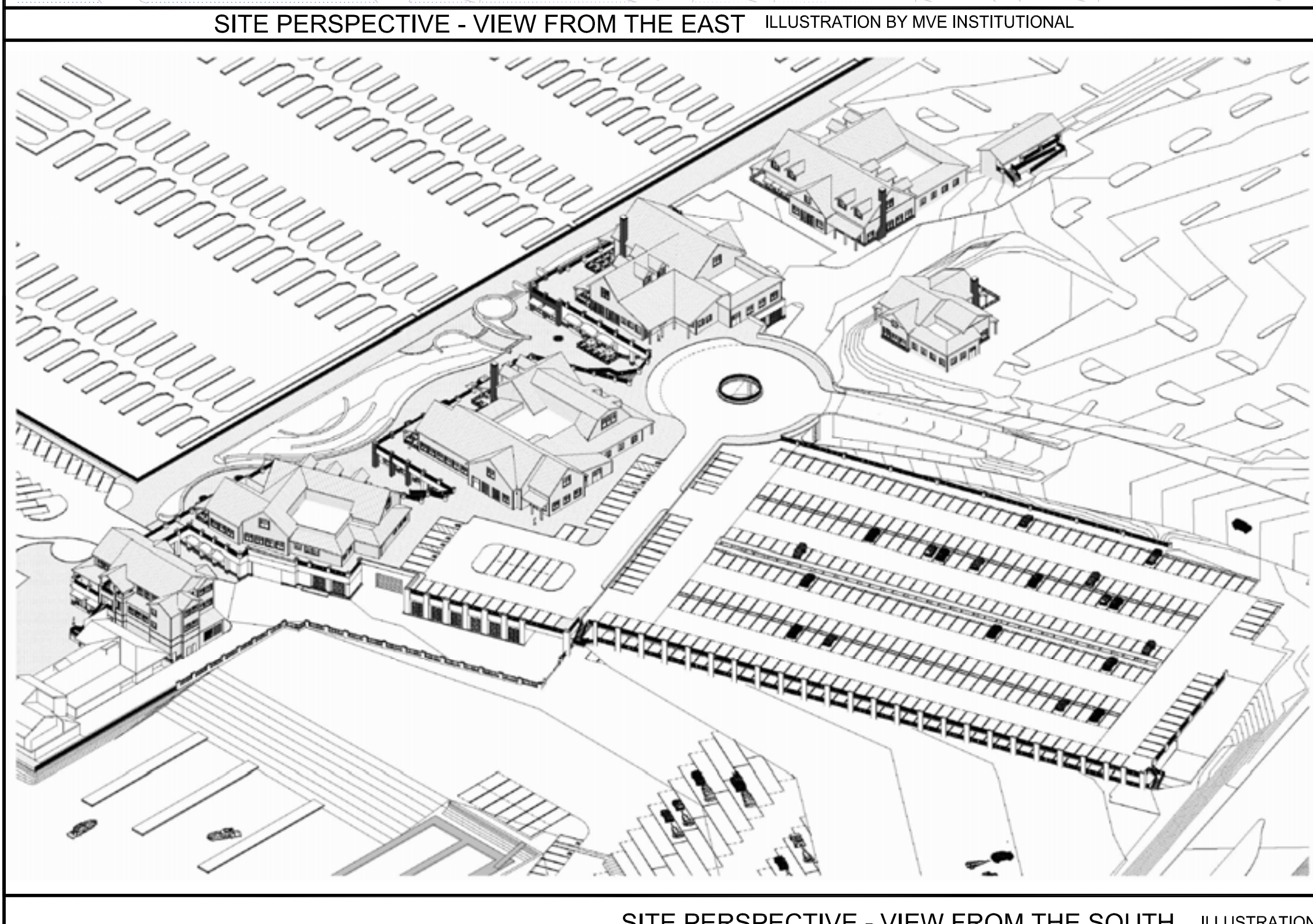
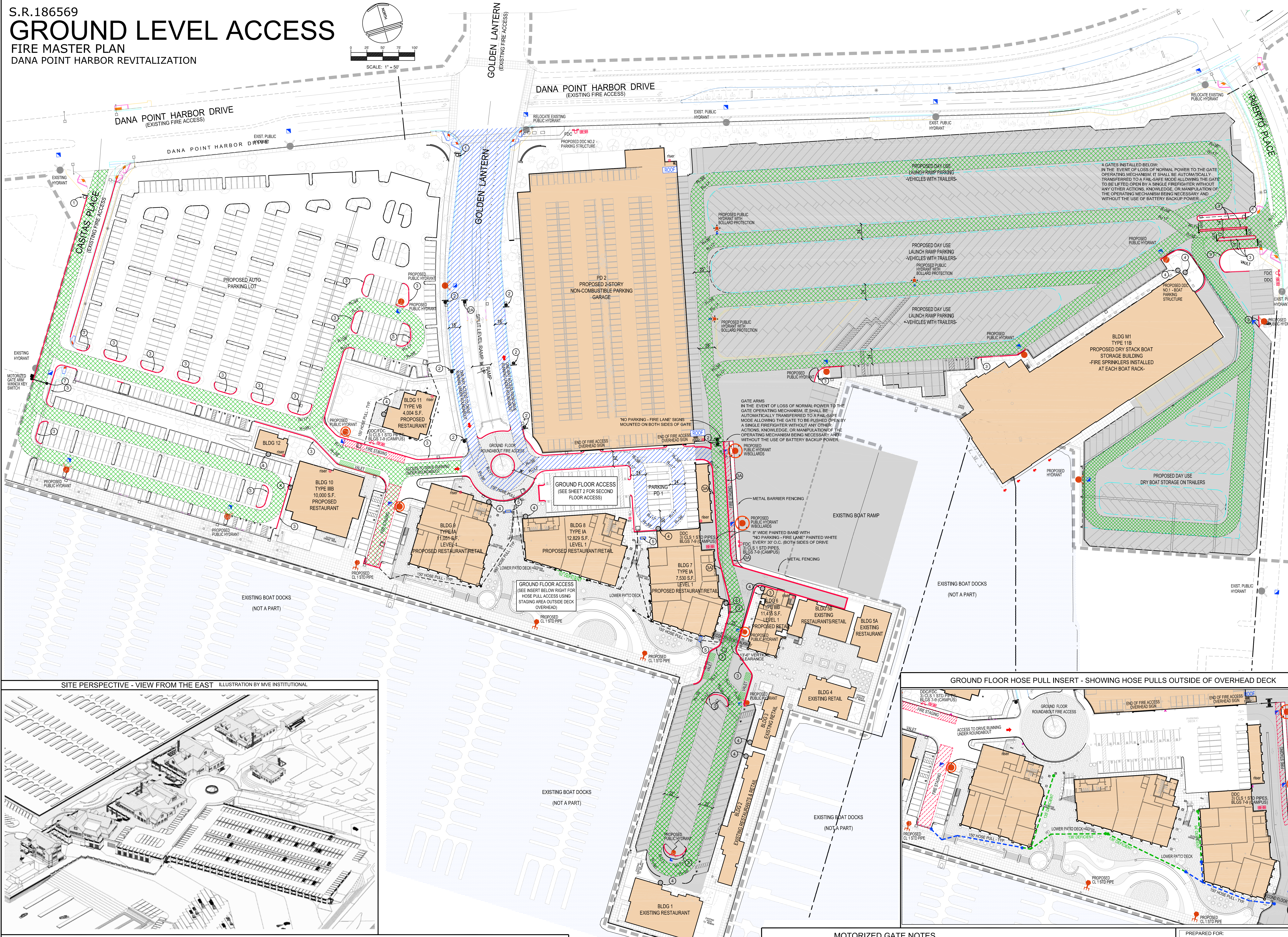
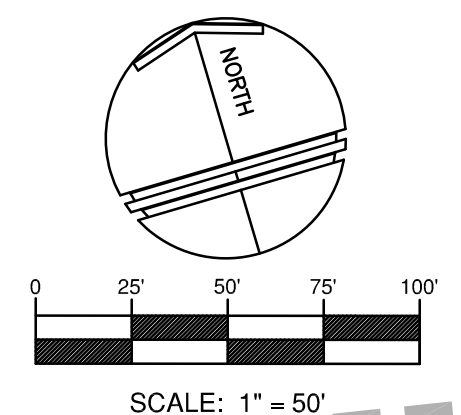
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| △ | 01/08/14 | 1ST PLAN CHECK CORRECTIONS |
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Tenant renovations of an existing building, approved by the City of Dana Point by separate permit October 2013. Provided for Reference Only.

DRAWN BY: RH
CHECKED BY: SA
DATE: 01/08/14
JOB #: 1245
SHEET: A - 33

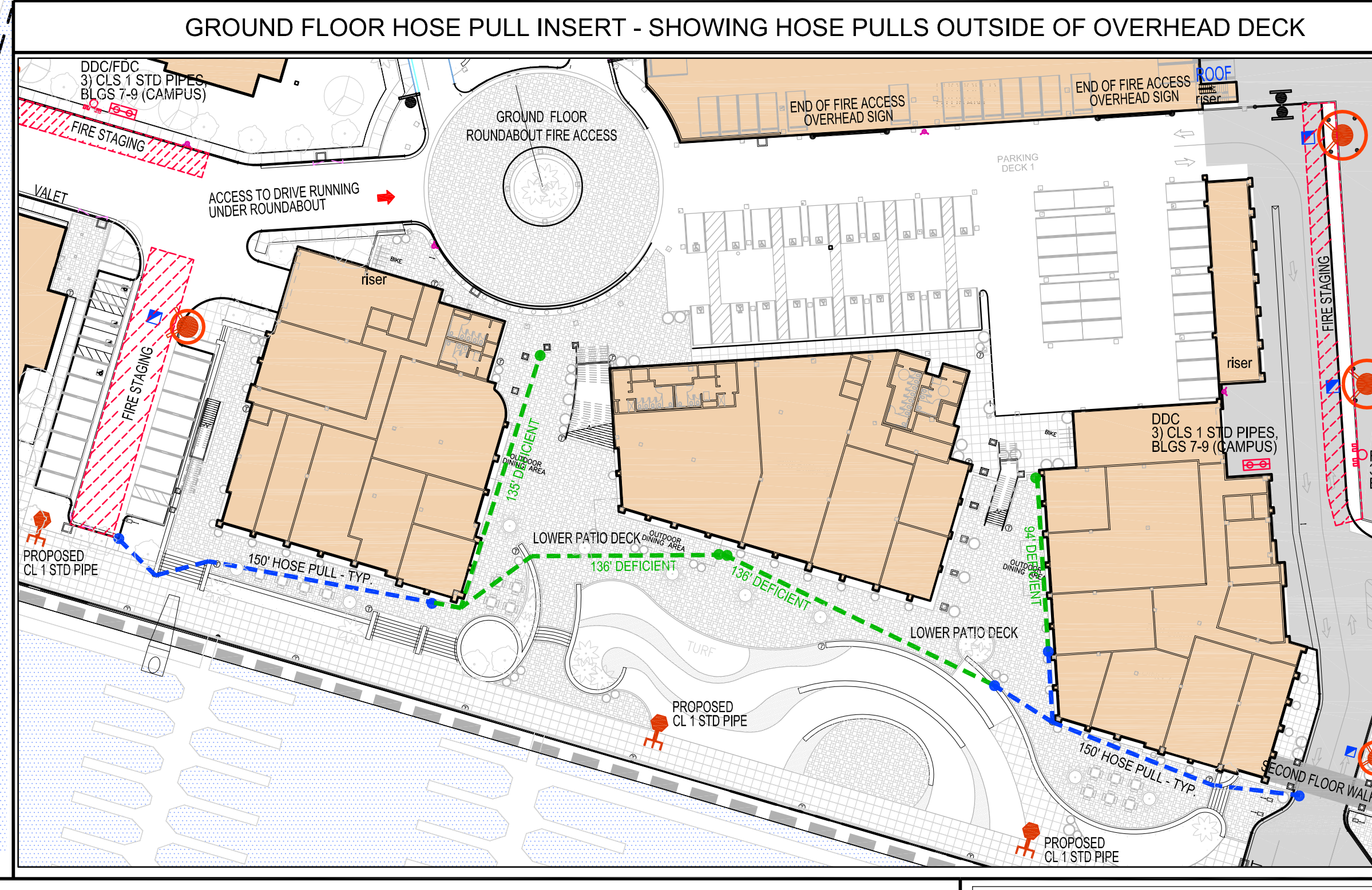
S.R.186569
GROUND LEVEL ACCESS
 FIRE MASTER PLAN
 DANA POINT HARBOR REVITALIZATION



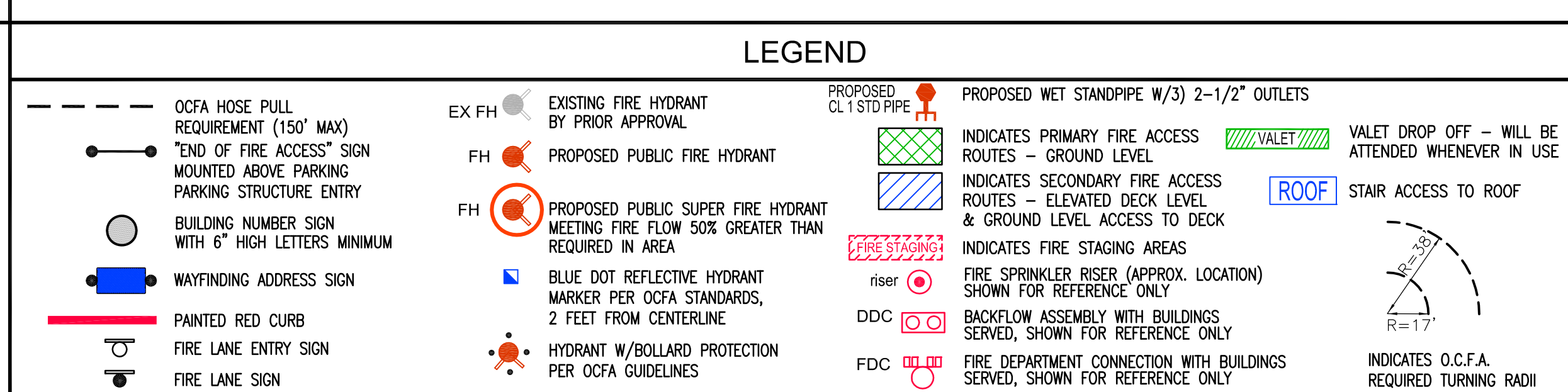
COMBUSTIBLE CONSTRUCTION LETTER
 January 8, 2014
 Planning and Development Services Section
 Orange County Fire Authority
 1 Fire Authority Road
 Irvine, CA 92602
 Subject: Combustible Construction Letter (CFL) Service Request Number 186569, Dana Point Harbor Revitalization Fire Master Plan, Dana Point, CA.

FIRE LANE ENFORCEMENT LETTER
 January 8, 2014
 Planning and Development Services Section
 Orange County Fire Authority
 1 Fire Authority Road
 Irvine, CA 92602

OCFA FIRE MASTER PLAN NOTES
 1. OCFA SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL OCFA INSPECTION SCHEDULING AT 714.261.2222.
 2. ALL LUMBER DROP INSPECTIONS SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS OR COMBUSTIBLE FINISHES FOR STRUCTURES OF STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 68,000 LBS. TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS SHALL BE MAINTAINED AT ALL TIMES.
 3. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICES REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
 4. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES AND AT PLAN SUBMITTAL CONTACT INSPECTION SCHEDULING TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
 5. AN ORIGINAL APPROVED, SIGNED, WET-STAMPED OCFA FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
 6. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
 7. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OCFA PRIOR TO USE.
 8. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
 9. ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
 10. BUILDINGS OF FOUR OR MORE STOREYS SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
GENERAL REQUIREMENTS
 11. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND FROM WALKWAY TO WALKWAY FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMMED, ETC). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS (PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED OCFA FIRE MASTER PLAN AND STANDARDS IDENTIFIED IN OCFA GUIDELINE B-9 FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
 12. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 68,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
 13. FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN OCFA GUIDELINE B-9 AND SHALL BE INSTALLED AS DESCRIBED. WHEN ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
 14. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE OCFA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
 15. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH OCFA GUIDELINE B-9. WAYFINDING SIGNS WHEN REQUIRED BY THE LOCAL AHA, SHALL COMPLY WITH THE STANDARDS OF THAT AGENCY. WHEN WAYFINDING SIGNS ARE ALSO REQUIRED BY THE OCFA, THEY MAY BE DESIGNED TO LOCAL AHA REQUIREMENTS PROVIDED THAT SUCH SIGNS FACILITATE LOCAL AHA STRUCTURES, SUITES, AND DWELLING UNITS BY EMERGENCY PERSONNEL.
 16. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND OCFA GUIDELINES.
 17. APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
 18. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER PANELS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
 19. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
 20. ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADIUS, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OCFA.
 21. APPROVAL OF THIS PLAN SHALL NOT BE CONSIDERED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCFA GUIDELINE B-9 AND RELATED PORTIONS OF THE CFC AND CEC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.
PROJECT-SPECIFIC REQUIREMENTS
 22. AN UNDERGROUND PIPING PLAN IS REQUIRED FOR THE INSTALLATION OF AN AUTOMATIC FIRE SPRINKLER SYSTEM OR FOR A PRIVATE FIRE HYDRANT SYSTEM. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
 23. AN ARCHITECTURAL PLAN IS REQUIRED TO BE SUBMITTED TO THE OCFA FOR REVIEW AND APPROVAL FOR PROJECTS CONTAINING A, C, E, F, H, I, L, R-1, R-2, AND R-4 OCCUPANCIES.
 24. A CHEMICAL, CLASSIFICATION AND HAZARDOUS MATERIALS COMPLIANCE PLAN SHALL BE APPROVED BY THE OCFA PRIOR TO ANY HAZARDOUS MATERIALS BEING STORED OR USED ON-SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
 25. BUILDINGS USED FOR HIGH-PILE STORAGE SHALL COMPLY WITH CFC REQUIREMENTS. A SEPARATE PLAN SUBMITTAL IS REQUIRED IF MATERIALS WILL BE STORED HIGHER THAN 12 FEET FOR LOWER-HAZARD COMMODITIES, OR HIGHER THAN SIX FEET FOR HIGH-HAZARD COMMODITIES SUCH AS PLASTICS, RUBBER, FLAMMABLE COMBUSTIBLE LIQUIDS, TILES, CARPET, ETC.
 26. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES, AMENDMENTS, AND GUIDELINES. SPRINKLER SYSTEMS, OTHER THAN THOSE WITH LESS THAN 100 HEADS SERVING A SINGLE FAMILY RESIDENCE/DUPLEX, SHALL BE MONITORED BY AN APPROVED CENTRAL STATION. A SEPARATE PLAN SUBMITTAL FOR THE SPRINKLER AND MONITORING SYSTEMS ARE REQUIRED.
 27. BUILDINGS CONTAINING INDUSTRIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH CFC REQUIREMENTS. A SEPARATE PLAN SUBMITTAL IS REQUIRED IF REFRIGERANT QUANTITIES EXCEED THRESHOLDS.
 28. A FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES, AMENDMENTS, AND GUIDELINES. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
 29. SECOND FLOOR POOL/FIRE ACCESS WILL BE CONSTRUCTED TO SUPPORT AS MANY AS 37,200 LBS FIRE TRUCKS. STRUCTURAL ENGINEER WILL CERTIFY THIS DESIGN.



MOTORIZED GATE NOTES
 1. ELECTRICALLY OPERATED GATES AND BARRIERS - IN THE EVENT OF LOSS OF NORMAL POWER TO THE GATE OPERATING MECHANISM, IT SHALL BE AUTOMATICALLY TRANSFERRED TO A FAIL-SAFE MODE ALLOWING THE GATE TO BE PUSHED OR LIFTED OPEN WITHOUT THE USE OF SPECIAL KNOWLEDGE, EQUIPMENT, OR BATTERY BACK-UP POWER.
 2. THE GATE CONTROL FOR ELECTRONIC GATES SHALL BE OPERABLE BY A KNOX EMERGENCY OVERRIDE KEY SWITCH WITH DUST COVER. THE KEY SWITCH SHALL BE PLACED BETWEEN 42" AND 48" ABOVE THE ROADWAY SURFACE AT THE RIGHT SIDE OF THE ACCESS GATE WITHIN TWO FEET OF THE EDGE OF ROADWAY. THE KEY SWITCH SHALL BE READILY VISIBLE AND UNOBSTRUCTED FROM THE FIRE LANE LEADING TO THE GATE. THE KEY SWITCH SHALL BE CLEARLY LABELED "FIRE DEPT."
 3. CLEAR WIDTH - OPENINGS FOR EGRESS AND INGRESS OF VEHICLES SHALL NOT BE LESS THAN 13 FEET CLEAR WIDTH. THE VERTICAL CLEARANCE SHALL NOT BE LESS THAN 13 FEET 6 INCHES, INCLUDING LANDSCAPING AND/OR TREES.
 4. APPROVED TYPE OF LOCKING/UNLOCKING DEVICE ("KNOX" PADLOCK, OR "KNOX" WEATHER RESISTANT LOCK BOX, FOR USE WITH A KNOX SUBMASTER KEY). AUTHORIZATION ORDER FORMS MAY BE OBTAINED THROUGH THE OCFA PLANNING AND DEVELOPMENT SERVICES SECTION AT 714.973.1010.
 5. THE KEY SWITCH SHALL BE LABELED WITH A PERMANENT RED SIGN WITH NOT LESS THAN 1 1/2" PLANNING AND DEVELOPMENT SERVICES SECTION AT 714.973.1010.



CONSTRUCTION NOTES

- INSTALL FIRE LANE ENTRY SIGN PER DETAIL.
- INSTALL FIRE LANE - NO PARKING SIGN PER DETAIL.
- INSTALL UPPER DECK WEIGHT CAPACITY SIGN INDICATING PODIUM CAPACITY DESIGNED TO SUPPORT (3) 72,000 LBS FIRE TRUCKS. (SEE OCFA FIRE MASTER PLAN NOTE 30)
- PAINT RED CURB AND STENCIL "NO PARKING - FIRE LANE" PER DETAIL.
- PAINT 6" WIDE RED LINE IN PAVEMENT WITH WHITE "NO PARKING - FIRE LANE" AT 30' O.C.
- INSTALL BUILDING ADDRESS SIGN WITH MINIMUM LETTERING.
- INSTALL WAYFINDING SIGNAGE PER DETAIL - LOCATIONS ARE APPROXIMATE AND MAY BE ADJUSTED IN FIELD FOR BETTER VISIBILITY.
- INSTALL UNIT ADDRESS SIGN WITH MINIMUM LETTERING AT UNIT ENTRY DOORS
- INSTALL GATE ARM WITH KNOX KEY SWITCH PER GATE NOTES ABOVE

PREPARED FOR:
County of Orange
Dana Point Harbor
 24660 Dana Point Harbor Drive
 Dana Point, CA 92629

PLANNING / ARCHITECTURE:
MVE Institutional
 1900 Main Street - Suite 800
 Irvine, CA 92614
 (949) 809-3380

PREPARED BY:
firesafe
 PLANNING SOLUTIONS
 302 N. El Camino Real, Suite 202
 San Clemente, CA 92672
 (949) 240-5911 (949) 240-8291 FAX

SHEET INDEX

SHEET 1 GROUND LEVEL FIRE ACCESS PLAN, SITE PERSPECTIVES, FIRE NOTES AND LETTERS

SHEET 2 SECOND LEVEL FIRE ACCESS PLAN, BUILDING DATA AND DETAILS, ALTERNATE MATERIALS AND METHODS REQUEST / APPROVAL LETTERS

GROUND LEVEL FIRE MASTER PLAN
 DANA POINT HARBOR REVITALIZATION
 DANA POINT HARBOR DRIVE
 S.R.186569
 COUNTY OF ORANGE

SHEET 1
 OF 2



RESTAURANT AND RETAIL SOUTH ELEVATIONS

| | | | | |
|------------------------|----------------------------|--------------------------|----------------------|--|
| McElroy Metal Charcoal | Dunn Edwards Enchanted Eve | Dunn Edwards Wooded Acre | Dunn Edwards Whisper | PPG UC106681F Duranar Sunstorm Sunlight Silver |
| METAL ROOF | WALL PAINTS | | TRIM PAINT | WINDOW / DOOR FRAMES |

BUILDING 9 UPPER LEVEL RESTAURANT / BUILDING 10 RESTAURANT

| | | | |
|--------------------------------|--------------------------|--------------------------|---|
| Coronado Idaho Dry Stack 10-03 | Dunn Edwards Rocky Ridge | Dunn Edwards Calico Rock | PPG UC106698F Duranar Sunstorm Lexus Bronze |
| STONE | WALL PAINTS | TRIM PAINT | WINDOW/DOOR FRAMES |

BUILDING 9 LOWER LEVEL RETAIL

Sunbrella Forest Green

BUILDING 9 AND 10 AWNINGS

| | | | | | |
|------------------------|-----------------------|-------------------------|--------------------------|----------------------|--|
| McElroy Metal Charcoal | Dunn Edwards Wood Peg | Dunn Edwards Flintstone | Dunn Edwards Stone Creek | Dunn Edwards Whisper | PPG UC106681F Duranar Sunstorm Sunlight Silver |
| METAL ROOF | WALL PAINTS | | | TRIM PAINT | WINDOW / DOOR FRAMES |

BUILDING 8 UPPER LEVEL RESTAURANT

| | | | | |
|--------------------------------|--------------------------------|-------------------------|--------------------------|---|
| Coronado Idaho Dry Stack 10-03 | Dunn Edwards Warm Butterscotch | Dunn Edwards Wilderness | Dunn Edwards Rocky Ridge | PPG UC106698F Duranar Sunstorm Lexus Bronze |
| STONE | WALL PAINTS | TRIM PAINT | WINDOW / DOOR FRAMES | WALL PAINT |

BUILDING 8 LOWER LEVEL RETAIL

Sunbrella Mahogany

BUILDING 8 AWNINGS

| | | | | |
|------------------------|-------------------------|---------------------------|----------------------|--|
| McElroy Metal Charcoal | Dunn Edwards China Clay | Dunn Edwards Play on Gray | Dunn Edwards Whisper | PPG UC106681F Duranar Sunstorm Sunlight Silver |
| METAL ROOF | WALL PAINTS | | TRIM PAINT | WINDOW / DOOR FRAMES |

BUILDING 7 UPPER LEVEL RESTAURANT / BUILDING 11 RESTAURANT

| | | | | |
|--------------------------------|--------------------------|----------------------------|---|-------------------------|
| Coronado Idaho Dry Stack 10-03 | Dunn Edwards Rocky Ridge | Dunn Edwards Bungalo Taupe | PPG UC106698F Duranar Sunstorm Lexus Bronze | Dunn Edwards Wilderness |
| STONE | WALL PAINT | TRIM PAINT | WINDOW/DOOR FRAMES | WALL PAINT |

BUILDING 7 LOWER LEVEL RETAIL

Sunbrella Forest Green

BUILDING 7 AND 11 AWNINGS



Coronado Idaho Dry Stack 10-03



IMAGE OF TYPICAL STONE WALL

DRY STACK BOAT STORAGE NORTHEAST ELEVATION

| | | | | | |
|------------------------|--------------------------------|----------------------------|-------------------------|--------------------------|---|
| McElroy Metal Charcoal | Coronado Idaho Dry Stack 10-03 | Dunn Edwards Bungalo Taupe | Dunn Edwards Flintstone | Dunn Edwards Rocky Ridge | PPG UC106698F Duranar Sunstorm Lexus Bronze |
| METAL ROOF | STONE | WALL PAINTS | | TRIM PAINT | WINDOW / DOOR FRAMES |

DRY STACK BOAT STORAGE

| | | | | |
|------------------------|-------------------------|----------------------------|----------------------|--|
| McElroy Metal Charcoal | Dunn Edwards Soft Pumic | Dunn Edwards Bungalo Taupe | Dunn Edwards Whisper | PPG UC106681F Duranar Sunstorm Sunlight Silver |
| METAL ROOF | WALL PAINT | | TRIM PAINT | WINDOW / DOOR FRAMES |

BUILDING 6 AND WHARF SIDING

| | | | |
|--------------------------------|-------------------------|-----------------------------|---|
| Coronado Idaho Dry Stack 10-03 | Dunn Edwards Oak Harbor | Dunn Edwards Colorado Trail | PPG UC106698F Duranar Sunstorm Lexus Bronze |
| STONE | WALL PAINT | TRIM PAINT | WINDOW / DOOR FRAMES |

BUILDING 6 LOWER LEVEL RETAIL

Sunbrella Mahogany

BUILDING 6 AWNINGS

DANA POINT HARBOR REVITALIZATION



COLORED ELEVATIONS ARE FOR MATERIAL AND COLOR LOCATION REFERENCE ONLY AND ARE NOT TO SCALE